

**VILLAGE OF HUNTLEY
PLAN COMMISSION**

March 14, 2022

6:30 PM



AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Comments
5. Approval of Minutes
 - A. Approval of the February 28, 2022 Plan Commission Meeting Minutes
6. Public Hearing(s)
 - A. Petition No. 22-03.01, True North Properties, as petitioner, and Village of Huntley, as owner, 11117 S. Church Street, Request is for approval of (i) a Map Amendment to rezone the subject property from "M" Manufacturing to "R-5" Multiple Family Residence; (ii) a Special Use Permit for a Multiple Family Dwelling – 21 to 50 units; (iii) a Preliminary and Final Plat of Subdivision; and (iv) a Special Use Permit for a Preliminary and Final Planned Unit Development, including any necessary relief in accordance with the application submitted to, and which is on file with, the Village of Huntley.
 - B. Petition No. 22-03.02, Christianson Companies, as petitioner, and RUBY-02-HNTLYCMRCL, LLC., as owner, Lot 8 of Huntley Crossings Phase II Plat II (generally located east of Route 47 and south of Regency Parkway), Request is for approval of (i) a Special Use Permit for a Car Wash within the "B-3 (PUD)" Shopping Center Business District – Planned Unit Development; and (ii) Final Planned Unit Development for the construction of a new ±4,551 square foot Car Wash, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley.
7. Discussion
8. Adjournment

MEETING LOCATION

Village Board Room
10987 Main Street
Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, please contact David Johnson, Village Manager at (847) 515-5200. The Village Board Room is handicap accessible.

**VILLAGE OF HUNTLEY
PLAN COMMISSION MEETING
Monday, February 28, 2022
MINUTES**

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CALL TO ORDER

Chairman Tom Kibort called to order the Village of Huntley Plan Commission meeting for February 28, 2022 at 6:30 p.m. The meeting was held in the Municipal Complex Village Board Room at 10987 Main Street, Huntley, Illinois 60142.

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PLEDGE OF ALLEGIANCE

Chairman Kibort led the Pledge of Allegiance.

ROLL CALL

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PLAN

COMMISSIONERS: Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O’Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort.

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COMMISSIONERS

ABSENT: Commissioner Ron Hahn

ALSO PRESENT: Director of Development Services Charles Nordman and Senior Planner Scott Bernacki

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4. **Public Comment** None

5. **Approval of Minutes**

A. Approval of the February 14, 2022 Plan Commission Meeting Minutes

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Chairman Kibort noted an error on who moved and seconded a motion on page 6, line 19 and page 15, line 21.

A MOTION was made to approve the February 14, 2022 Plan Commission Meeting Minutes, with noted correction.

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MOVED: Vice Chair Dawn Ellison
SECONDED: Commissioner Terra DeBaltz
AYES: Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O’Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 6:0:0

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B. Approval of the January 24, 2022 Plan Commission Meeting Minutes

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6. **Public Hearing(s)**

A. Petition No. 22-02.04, Billitteri Enterprises, LLC and Village of Huntley, petitioners, and Huntley Fire Protection District and Doris A. Rasmusen Trust, owners, 11808 Coral Street and 11011 Woodstock Street, Request is for approval of: (i) a Preliminary and Final Plat of Subdivision; (ii) Special Use Permit for a Restaurant; (iii) Special Use Permit for Multi-Family Dwellings above first floor business uses; and (iv) Special Use Permit for a Preliminary and Final Planned Unit Development, including any necessary relief in accordance with the application submitted to, and which is on file with, the

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Village of Huntley. This application is filed for a mixed-use building containing a ground-floor restaurant and upper-floor rental apartments, off-street parking, and other related improvements.

Chairman Kibort turned to Village staff to begin the PowerPoint presentation to review the petition.

Director Nordman recapped the Village Board's approval of the Downtown Revitalization Plan in September, 2010 and its efforts to work diligently to implement the plan, including establishing a Tax Increment Finance District for the area. The plan identified the Fire Protection District property as a key redevelopment parcel appropriate for a mixed-use development that includes retail or dining uses on the ground floor and multi-family units above.

Director Nordman explained that per Village Board direction on September 23, 2021, Staff began discussions with Billitteri Enterprises for a redevelopment agreement to accommodate the redevelopment of the property for commercial and residential uses. The joint project between the petitioner and the Village includes the renovation and re-use of the existing building for a restaurant with outdoor seating in the area adjacent to Coral Street and the addition of three floors of apartment units.

Director Nordman described that the project includes the renovation and re-use of the former Huntley Fire Station One located at 11808 Coral Street for a restaurant and apartments. The property at 11011 Woodstock Street would be demolished to allow for construction of a public parking lot to accommodate the new development and surrounding businesses, including the post office.

Director Nordman stated the parking to accommodate the redevelopment would be provided on the north side of the building and in a new lot to be constructed on the parcel to the east, which fronts Woodstock Street. The parking area would be combined into one lot that would provide 41 parking spaces, with 17 of the parking spaces being dedicated to apartment residents. The parking lot would also serve to provide off-street parking for the Post Office. The Village would maintain ownership of the parking lot, which would be accessed primarily from Woodstock Street. The access to the lot from Coral Street is proposed to be one-way northbound so that westbound traffic on Coral Street has access to the parking lot.

Director Nordman stated the proposed ±5,181 square foot restaurant will be operated by Dan Hart, who will be operating a DC Cobbs. Mr. Hart owns DC Cobbs restaurants in East Dundee, McHenry and was the original owner in Woodstock. The proposed restaurant will also include an outdoor patio space of approximately 1,100 square feet at the front of the building. Director Nordman reviewed how tenants and restaurant patrons would circulate and access to the building.

Director Nordman mentioned that the proposal calls for two studio, nine one-bedroom, and seven 2-bedroom units for a total of 18 units with anticipated monthly rent expected to range between \$1,200 to \$1,600 per month.

Director Nordman presented the elevations which included the review of the added three stories to the structure, thus creating a four-story building that would have an overall height of 51'-8". The proposed elevations would keep the building's existing brick and add two additional overhead doors to the south elevation, facing Coral Street. The upper three stories of the building would include a combination of face brick to match the existing building and engineered wood siding. Each of the apartments would include a balcony that would be located on either the north or south elevations of the building. Access to the apartments and elevator would be provided on the west elevation of the building and the restaurant's entrance would be located on the south elevation, facing Coral Street.

Director Nordman also mentioned the new overhead doors would access the restaurant's outdoor patio. The proposed patio would include the use of a retractable roof structure which would be enclosable to allow use of the patio through the cooler months of the year.

Director Nordman reviewed the landscaping improvements including a refreshed sitting area near the restaurant entrance. The proposed screening of the new parking lot is designed based on discussions with the neighboring homeowner to the north. The proposed screening includes an 8-foot-tall wood/wood-looking composite privacy

fence that would run the full length of the adjoining north lot line. In addition to the fence, landscaping is proposed on the south side of the fence.

5 Director Nordman stated the parking lot would be illuminated by four pole mounted fixtures. The fixtures would be mounted along the north edge of the parking lot at a height of 16.5 feet and would include house side shields. The average light levels within the parking lot and maximum light levels at the lot lines meet Zoning Ordinance requirements for parking lot lighting.

10 Director Nordman stated the Village will own and maintain the parking lot whereas the petitioner will own the building footprint including the west access driveway and the patio area. The proposed plat of subdivision will re-subdivide the property to create two lots to accommodate the proposed redevelopment of the site. The plat will subdivide the property to create a ±11,400 square foot lot for the former fire station building and a ±6,400 lot for Village owned parking lot that will be located at the rear of the building. The B-2 Highway Service District requires a minimum lot area of 5,000 square feet and a minimum lot width of 50 feet. Both proposed lots meet the minimum lot area for the “B-2” district; however, the lot being created for the parking lot will require relief since it will not have street frontage. Access to the lot would be provided from the 11011 Woodstock Street parcel, which will also be Village owned.

20 Director Nordman mentioned that because this was a planned unit development certain elements of relief have been requested to accommodate the development in its downtown setting including

1. The “B-2” zoning district requires a minimum front yard setback of 30 feet. The patio enclosure will be setback ±2 feet from the front lot line.
2. The “B-2” zoning district requires a rear yard setback of 20 feet. The existing building will be setback ±4 feet from the new rear lot line.
3. The “B-2” zoning district allows a maximum impervious coverage of 85%. The impervious coverage on the Fire Station site is ±99%.
4. The “B-2” zoning district permits a maximum Floor Area Ratio (FAR) of 1.5 (150%). The proposed FAR is 2.0 (200%).
5. The “B-2” zoning district allows a maximum building height of 3-stories / 35 feet. The proposed building height is 4-stories / 51'-8".
6. The Zoning Ordinance requires parking stalls to be 10 in width and 19 feet in depth. The proposed parking lot includes 16 parking spaces that are 9 feet in width and 18 feet in depth. These spaces will be for the dedicated use of the apartment residents. The remaining 25 spaces are 10 feet in width and 18 feet in depth. Relief is required for 16 of the parking spaces to be 9 feet in width and all of the parking spaces to be 18 feet in depth.
7. The Zoning Ordinance requires parking lot drive aisles to be 25 feet in width. The proposed parking lot drive aisle is 24 feet in width.
8. The Zoning Ordinance requires 1 parking space for every 3 seats in a restaurant and 2.5 spaces for every dwelling unit in multi-family buildings containing more than 5 units. Based on this, the proposed restaurant and 18 apartment units require 97 parking spaces (this assumes 151 seats within the restaurant). The proposed parking for the development will be provided within the new Village owned lot which will provide 41 spaces (this includes the garage space proposed at the rear of the building). Additional parking within the downtown is also proposed to be constructed in 2022 to accommodate this and other developments. New parking includes additional on-street spaces and the expansion to the Main Street lot. In total, there are 231 new parking spaces planned within the downtown in 2022. Director Nordman shared an exhibit which displayed the proposed added parking to the downtown area.

50 Director Nordman stated that Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board including:

1. All improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) standards, practices and permit requirements.

2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. No building permits, plans, or Certificates of Occupancy are approved as part of this submittal.

5 Director Nordman concluded by introducing the Petitioner's representatives Larry Farrenkopf of Architects 127 and John Curtis of Curtis Commercial.

Chairman Kibort thanked Director Nordman and requested a motion from the Commission to open the public hearing.

10 **A MOTION was made to open the public hearing to consider Petition No. 22-02.04**

MOVED:	Vice Chair Dawn Ellison
SECONDED:	Commissioner Ric Zydorowicz
AYES:	Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O'Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort.
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	6:0:0

20 Chairman Kibort stated that this is a public hearing and anyone wishing to testify must be sworn in. The following persons were sworn in: Director Charles Nordman, the Petitioner Larry Farrenkopf of Architects 127, John Curtis of Curtis Commercial, and resident Brent Mullane.

25 Chairman Kibort asked if the petitioner had anything to add or present to which Larry Farrenkopf made himself available for questioning.

Chairman Kibort asked if any members of the public had any comments to add.

30 Brent Mullane of 11608 Second Street spoke of his family's efforts to keep their home historically accurate and complimented the Village's efforts in improving the downtown. Mr. Mullane expressed concern over the height of the building believing 4 stories to be incongruent with the existing downtown district. He noted that the look of downtown may be adversely impacted if the Village were to stray from its current 3 story height limitation. That going too high may deviate from the intent of the Village's motto of keeping its country charm. He offered a suggestion that the restaurant utilize natural lit signage consistent with other downtown businesses.

35 Commissioner Jeff Peterson shared concerns about the height. John Curtis explained that it would not be feasible to construct a 3 story building. Mr. Farrenkopf spoke to the height comparison graphic stating that the scale is comparable with other nearby projects. Commissioner Peterson asked about the signage to which Director Nordman stated that the Downtown revitalization plan sets the standard for downtown signage stating that internal illumination signage is not permitted. Commissioner Peterson expressed that the 17 designated parking spaces would be insufficient in supporting the 18 units and asked of the timing of when the other planned public parking areas were to be constructed to which Director Nordman responded concurrently. Mr. Curtis contends that the combination of the new public lots and on street parking is to be expected in suburban downtown living. It was also mentioned that the 18-foot long parking stalls and 24-foot aisle widths are too tight to support the anticipated tenant and downtown patron movements and may be conducive to bottlenecking near the busy post office. Mr. Curtis explained that the 24-foot aisle is standard in most municipalities. Commissioner Peterson concluded that he would like to see the new restaurant work in the downtown.

50 Vice Chair Dawn Ellison continued the sign discussion by asking about how the restaurant would be branded from the front elevation. Mr. Curtis mentioned that the restaurant owner utilizes natural wood materials for his signs and that they are working with the Village now on the placement of a blade sign. Vice Chair Ellison confirmed with Director Nordman that other than those residents in attendance, no other residents who were notified have contacted the petitioner or the Village with comments regarding the development. Vice Chair Ellison confirmed with Director

Nordman that overnight parking is enforced by the Village. Vice Chair Ellison confirmed with Director that the Village will be installing the 8' fence along the north line. Vice Chair Ellison stated she is not in favor of the 4th story. Vice Chair Ellison requested that mechanical apparatus be properly screened atop the roof.

5 Chairman Kibort remains mindful that the parking in the downtown is constrained, however, given the forthcoming parking improvements in the Village's main public lot and that all other tenants living in the downtown must find public parking today, the project generally aligns with the goals identified in the downtown revitalization plan. Chairman Kibort expressed that the buildings appearance is fantastic, that apartments are needed in Huntley, and he does not have an issue with the 4th story as this mixed use project is of similar type and scale as other thriving
10 downtowns like Elmhurst or Glenview.

Commissioner Ric Zydorowicz thanked Mr. Farrenkopf for the requested architectural changes and believes the project to be a very nice addition. Commissioner Zydorowicz again confirmed with Director Nordman that the 24' aisle would safely accommodate two-way traffic to avoid any back up on a busy weekend.

15 Commissioner Dennis O'Leary agreed with the concerns of Commissioner Peterson that the parking is not being provided for the project in a responsible manner. Commissioner O'Leary confirmed with Mr. Curtis that the 13-foot wide driveway and the 5' sidewalk along the west side will be separated using a railing to prevent against pedestrian and vehicular circulation mixing. Commissioner O'Leary expressed that the renderings utilized show attractive
20 landscaping that will not be used when the dining canopy is installed and mentioned that significant strides should be made to make the frontage as welcoming as possible. Commissioner O'Leary did state that the apartments were nice, however, there is a lot of relief being requested from the Village's ordinances which offer a dramatic change that may be too much to handle for a Village downtown of this size.

25 Commissioner Terra DeBaltz mentioned that the project would benefit the community as a whole but echoed concerns regarding amount of relief required to allow the height and the parking. Understanding that more parking is coming through future development, Commissioner DeBaltz mentions that she is hesitant to offer this amount of requested relief to accommodate such a large development in a small space. Commissioner DeBaltz expressed the desire to add appropriate lighting at the residential entrance area of the building. Commissioner DeBaltz
30 complimented the project's appearance and knows that many residents will enjoy the new restaurant but has several reservations of allowing the requested relief.

Director Nordman summarized that on premise parking in a downtown setting is not always feasible and shared a graphic which demonstrates the creativity needed to supply parking to support the businesses and residences in the
35 downtown. He goes on to compare Downtown Huntley to other suburban downtowns whom offer similar amenities and the fact that parking may not always be immediately adjacent to a business or residence.

Chairman Kibort added that downtown Naperville or Elmhurst offer parking garage's that require a walk of some distance to patronize a business and that mixed use development is key to continued development and growth in
40 Huntley's downtown. It was mentioned that Huntley has not had an apartment development in the recent past and this project offers a desirable product in a desirable location.

Vice Chair Dawn Ellison spoke about the possible coordination with neighboring businesses like Sammy's to open up the entire corner to new development to which Director Nordman responded that all of these items can be
45 considered as new sites become available.

Chairman Kibort concluded by congratulating the developers for bringing the project forward in the current economic climate and welcomed DC Cobbs to Huntley as a quality offering continuing to make the downtown a destination

50 Commissioner Peterson requested a realistic construction timeline to which Mr. Curtis mentioned that end of April would be desirable to begin construction with the possibility of the restaurant opening in December of this year with the apartments taking occupancy next year.

Commissioner DeBaltz asked if there would be any impact to existing businesses during construction to which Director Nordman explained the rear of the property would be utilized for construction staging to avoid significant impact.

5 There were no further comments. Chairman Kibort requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 22-02.04

10 **MOVED:** Commissioner Jeff Peterson
SECONDED: Vice Chair Dawn Ellison
AYES: Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O’Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort.
NAYS: None
ABSTAIN: None
15 **MOTION CARRIED** 6:0:0

Chairman Kibort requested a motion to approve the petition.

20 **A MOTION was made to approve Petition No. 22-02.04, Requesting approval of (i) a Preliminary and Final Plat of Subdivision; (ii) Special Use Permit for a Restaurant; (iii) Special Use Permit for Multi-Family Dwellings above first floor business uses; and (iv) Special Use Permit for a Preliminary and Final Planned Unit Development, including any necessary relief in accordance with the application submitted to, and which is on file with, the Village of Huntley, subject to the following conditions:**

- 25 1. All improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) standards, practices and permit requirements.
30 2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. No building permits, plans, or Certificates of Occupancy are approved as part of this submittal.

MOVED: Commissioner Ric Zydorowicz
SECONDED: Commissioner Jeff Peterson
35 **AYES:** Commissioners Jeff Peterson, Ric Zydorowicz, Terra DeBaltz and Chairman Tom Kibort.
NAYS: Commissioners Dennis O’Leary and Vice Chair Dawn Ellison,
ABSTAIN: None
MOTION CARRIED 4:2:0

40 B. Petition No. 22-02.05, General RV, petitioner/owner, 14000 Automall Drive, Request is for approval of: (i) Site Plan Review; and (ii) a Special Use Permit for the expansion of the Recreational Vehicle Sales and Service use located in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance. The petitioner is proposing a ±19,558 square foot building expansion to offer 14 additional RV repair bays.

45 Chairman Kibort turned to Village staff to begin the PowerPoint presentation to review the petition.

50 Senior Planner Scott Bernacki introduced the petitioner’s request by stating that the Zoning Ordinance requires a special use permit be issued for Recreational Vehicle Sales and Service uses within the C-2 District. Planner Bernacki mentioned that General RV received its original special use permit and site plan approval to operate in this location back in 2010. The existing Recreational Vehicle Sales and Service use has also been expanded in the past including in 2013 when General RV added a standalone service facility, in 2017 when it

purchased land from the neighboring lot, in 2018 when it added an addition to the original sales and service building, and in 2019 when it again purchased land from the neighboring lot.

5 Planner Bernacki stated that this request calls for the construction of a 19,558 square foot addition directly east of the existing 12,332 square foot standalone service building. The addition proposes to occupy paved lot space formerly utilized as an RV parking area.

10 Planner Bernacki summarized the existing passenger vehicle parking areas as supporting 161 parking stalls. The proposed addition calls for the installation of 14 new repair bays which will impact the parking count. The petitioner requested relief to provide a total of 161 of the required 181 passenger parking spaces. The petitioner has noted that the proposed addition is only to the service building which should not give rise to additional customers or employees and that the existing parking areas adequately address parking demand. It was also noted that parking relief was previously granted to the petitioner in past phases of the development.

15 Planner Bernacki recapped the scope of the expansion as including interior open space with trench drains to allow for the general servicing of the recreational vehicles and an equipment mezzanine proposed to connect the existing building with the new space. The proposed building elevations utilize 26' tall precast panels with a tan paint scheme to match the pre-existing facility. The north and south facing elevations include 7 drive in doors on each elevation for a total of 14 new repair bays. The lighting plan indicates the installation of 5 new wall mounted light fixtures using a style and mounting height to match the existing service facility.

Planner Bernacki stated that Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board including:

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1. All improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services, standards, practices and permit requirements.
 2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
 3. No building permits, plans, or Certificates of Occupancy are approved as part of this submittal.

30 Planner Bernacki concluded by introducing the Petitioner's representative Matthew Cotherman of Principle Construction should the commission have any follow up questions.

Chairman Kibort thanked Planner Bernacki and requested a motion from the Commission to open the public hearing.

35 **A MOTION was made to open the public hearing to consider Petition No. 22-02.05**

MOVED: Vice Chair Dawn Ellison
SECONDED: Commissioner Ric Zydorowicz
40 **AYES:** Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O'Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort.
NAYS: None
ABSTAIN: None
45 **MOTION CARRIED** 6:0:0

Chairman Kibort stated that this is a public hearing and anyone wishing to testify must be sworn in. The following persons were sworn in: Senior Planner Scott Bernacki, the petitioner Matthew Cotherman of Principle Construction.

50 Chairman Kibort asked if the petitioner had anything to add or present to which Matthew Cotherman stated he was pleased to be presenting another expansion to General RV to accommodate the growing service needs of the customers.

Chairman Kibort asked if any members of the public had any comments to add to which no members of the public had anything to add.

5 Vice Chair Dawn Ellison sees no issues with the expansion and confirmed with Mr. Cotherman that the new shop will support 3 crews of 10 employees. Mr. Cotherman mentioned that the northernmost lot is rarely filled with current staff levels. Mr. Cotherman also assured that all fluid runoff flow to a triple basin and underground sanitary.

10 Commissioners DeBaltz, O’Leary, Peterson, Zydorowicz and Chairman Kibort complimented the project and encouraged the businesses’ expansion in Huntley.

There was general discussion amongst the commission and the Petitioner regarding the RV market.

There were no further comments. Chairman Kibort requested a motion to close the public hearing.

15 **A MOTION was made to close the public hearing to consider Petition No. 22-02.05**

MOVED:	Vice Chair Dawn Ellison
SECONDED:	Commissioner Dennis O’Leary
AYES:	Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O’Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort.
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	6:0:0

25 Chairman Kibort requested a motion to approve the petition.

30 **A MOTION was made to approve Petition No. 22-02.05, Requesting approval of (i) Site Plan Review; and (ii) a Special Use Permit for the expansion of the Recreational Vehicle Sales and Service use located in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley, subject to the following conditions:**

1. All improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) standards, practices and permit requirements.
- 35 2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. No building permits, plans, or Certificates of Occupancy are approved as part of this submittal.

MOVED:	Commissioner Terra DeBaltz
SECONDED:	Vice Chair Dawn Ellison
AYES:	Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O’Leary, Terra DeBaltz, Vice Chair Dawn Ellison and Chairman Tom Kibort.
NAYS:	None
ABSTAIN:	None
45 MOTION CARRIED	6:0:0

Chairman Kibort asked the petitioner for a construction timeline to which Mr. Cotherman responded mid-May.

50 **7. Petition**

- A. Petition No. 22-02.06, True North Properties, Inc., petitioner and Village of Huntley, owner, 11117 S. Church Street, Request is for concept review of a proposed plan to rezone the subject property from “M” Manufacturing to “R-5” Multiple Family Residence and convert the existing building into rental

apartments.

Chairman Kibort turned to Village staff to begin the PowerPoint presentation to review the petition.

5 Director Charles Nordman stated that in 2017 the Village purchased the Catty property at 11117 South Church Street with the intent of revitalizing and redeveloping the property. The Downtown Plan identified the site as a future redevelopment site suited for multi-family residential.

10 Director Nordman mentioned that per Village Board direction on September 9th, Staff has begun discussions with True North Properties and is in the process of finalizing a Purchase and Sale Agreement and Redevelopment Agreement for the property to accommodate the renovation and re-use of the existing building for a total of 37 units.

15 Director Nordman stated that the developer has revised the elevation of the existing building to remove the hill and include a cornice treatment along the top of the building for a portion of the east elevation, and the north and south elevations.

20 Director Nordman presented the parking for the apartments that will be provided in a new parking lot to the east of the building that will provide spaces for 50 vehicles. An additional 87 parking spaces will also be constructed to the north of the Catty property for use by downtown businesses as part of the Village's overall plan to add parking in the downtown in 2022. Director Nordman continued to summarize the underground detention efforts being utilized to maximize usable space in the downtown.

25 Commissioners O'Leary requested clarification on what the Village would take ownership of. Director Nordman responded that the Village would construct and own all of the parking and open space on the site and the developer would effectively own and maintain the footprint of the building. Given the breakdown of 17 studio, 16 1-bedroom, and four 2-bedroom units, the supplied parking should be sufficient for the project and also supporting the downtown district.

30 Director Nordman stated that the petitioner has requested the Plan Commission to conceptually review the proposed plans. The concept review shall provide the petitioner with initial comments and concerns that should be considered as they proceed in the formal review process.

35 Director Nordman concluded by introducing Nick Ieremciuc and Joe Gottemoller of True North Properties should the commission have any follow up questions.

40 Vice Chair Dawn Ellison stated that the cornice treatment should also be extended to include the other areas of the building. Vice Chair Ellison questioned the parking lot orientation to which Director Nordman responded that the location of the lot was intentional to keep the open space along Church Street and provide critical storm water management opportunities.

45 Vice Chair Dawn Ellison asked about the condition of the interior of the building to which Mr. Ieremciuc responded that the building is in sound structural condition and the developer is prepared to make the necessary improvements to the building. Mr. Ieremciuc stated the choice to paint the brick white stems from the fact that over the years, there have been 4 different types and colors of brick utilized on the building, and that adding a close match would only add to the dissimilarity of the buildings appearance. The paint would offer a fresh and uniform look for the building.

50 There was discussion regarding the standalone structure that exists on the property. Mr. Ieremciuc responded that although its origins and purpose are debated, they are excited to integrate it into the design as it speaks to the history of the property. Chairman Kibort called for it to be utilized creatively so that it can be actively incorporated into the use of the site.

Commissioner DeBaltz asked how the interior spaces will be designed, with exposed brick or drywall. Mr.

Ieremciuc responded that the design team is reviewing its options with the goal of providing balance to preserve the charm while making the units comfortable for the future tenants. Mr. Gottemoller spoke to these preservation efforts by citing examples of previous renovation projects in Crystal Lake. The ivy will be utilized to beautify the building while also masking imperfections revealed when the hill is removed.

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Commissioner DeBaltz recommended that alternative amenities be considered throughout the site such as outdoor seating. Commissioner Peterson later echoed this request addressing the area between the parking lot and Church Street. Mr. Ieremciuc mentioned that there may be some seating proposed based on conversations with the Village.

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Mr. Gottemoller mentioned that there is an opportunity to utilize a portion of the building facing the tracks as a train depot.

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Commissioner Peterson commented on the number of studio units and asked about the targeted demographic to which Mr. Ieremciuc spoke of the profile of tenants in their previous projects including young professionals and retirees with rent ranges of \$1,200 - \$2,000.

Chairman Kibort clarified with Director Nordman that the parking stall and aisle width comply with the Villages standard.

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8. Discussion

Director Nordman stated the next Plan Commission meeting is scheduled for March 14, 2022. There was no further discussion.

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9. Adjournment

At 8:00 pm, a MOTION was made to adjourn the February 14, 2022 Plan Commission meeting.

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MOVED:	Vice Chair Dawn Ellison
SECONDED:	Commissioner Terra DeBaltz
AYES:	Commissioners Jeff Peterson, Ric Zydorowicz, Dennis O’Leary, Terra DeBaltz, Vice Chair Dawn Ellison, and Chairman Tom Kibort.
NAYS:	None
ABSTAIN:	None
MOTION CARRIED	6:0:0

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Respectfully submitted,

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Senior Planner
Village of Huntley

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION
PUBLIC HEARING

MEETING DATE: March 14, 2022

SUBJECT: Petition No. 22-03.01, True North Properties, as petitioner, and Village of Huntley, as owner, 11117 S. Church Street, Request is for approval of (i) a Map Amendment to rezoning the subject property from “M” Manufacturing to “R-5” Multiple Family Residential; (ii) a Special Use Permit for a Multiple Family Dwelling – 21 to 50 units; (iii) a Preliminary and Final Plat of Subdivision; and (iv) a Special Use Permit for a Preliminary and Final Planned Unit Development, including any necessary relief in accordance with the application submitted to, and which is on file with, the Village of Huntley.

BACKGROUND INFORMATION

Petitioner: True North Properties, Inc.
660 E. Liberty Street #100
Wauconda, IL 60084

Owner: Village of Huntley
10987 Main Street
Huntley, IL 60142

Subject Location: 11117 S. Church Street

Request: Request is for (i) a Map Amendment to rezoning the subject property from “M” Manufacturing to “R-5” Multiple Family Residential; (ii) a Special Use Permit for a Multiple Family Dwelling – 21 to 50 units; (iii) a Preliminary and Final Plat of Subdivision; and (iv) a Special Use Permit for a Preliminary and Final Planned Unit Development, including any necessary relief, to allow for the conversion of the existing building to 37 multi-family dwelling units.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN – DOWNTOWN REVITALIZATION PLAN
Property in Question	“M” Manufacturing	Vacant	Multi-Family Residential
North	“B-2” Highway Service and “R-2” Single Family Residence	Village Parking Lot and AT&T Facility	Mixed Use and Commercial Conversion/Adaptive Reuse
South	“R-2” Single Family Residence	Single Family Residential and Parking Lot	Single Family Residential and Industrial
East	“R-2” Single Family Residence	Single Family Residential	Commercial Conversion/Adaptive Reuse
West	“M” Manufacturing	Vacant	Industrial

INTRODUCTION

The Village Board approved the Downtown Revitalization Plan in September, 2010 and has worked diligently to implement the plan. A fundamental component of the Downtown Plan is the redevelopment

of properties. In 2017 the Village purchased the Catty property at 11117 South Church Street with the intent of revitalizing and redeveloping the property. The Downtown Plan identified the site as a future redevelopment site suited for multi-family residential.

The Catty property is located in the Downtown TIF District. The Village Board previously approved a TIF Redevelopment Plan for the Downtown TIF District, and a fundamental component of that Plan is rehabilitation and redevelopment of qualified redevelopment project sites within the TIF. The Village Board has identified the Catty property (and the existing building, which has been vacant for several years) as a redevelopment priority under the TIF Redevelopment Plan. Since acquiring the property in 2017, the Village has undertaken environmental remediation and other site preparation work to prepare the Catty property and building for successful rehabilitation and redevelopment for new occupancy.

Per Village Board direction on September 9, 2021, Staff has been in discussions with True North Properties (the “*Developer*”) and is in the process of finalizing a Purchase and Sale Agreement and Redevelopment Agreement for the property to accommodate the residential use of the property. The requested development actions for consideration by the Plan Commission are to accommodate the proposed conversion of the existing building to 37 apartment units. The building is proposed to be named “The Cornell” based on the building previously being used as a Cornell Brothers Milk Condensing Factory.

STAFF ANALYSIS

Map Amendment

The proposed map amendment will rezone the ±2.62-acre property from “M” Manufacturing to “R-5” Multiple Family Residence to accommodate the proposed reuse of the building for apartments. The Village’s Downtown Revitalization Plan identified the property for multi-family residential in order to increase the residential density in the core downtown. The proposed rezoning is consistent with the recommendations of the Downtown Revitalization Plan.

Special Use for a Multiple Family Dwelling

The “R-5” Multiple Family Residence District allows Multiple Family Dwelling containing 21 to 50 units as a special use. The conversion of the building to multi-family residential will create 37 apartment units within the building, therefore requiring approval of a special use by the Plan Commission and Village Board. The 37 proposed apartment units will consist of 17 studio, 16 1-bedroom, and four 2-bedroom units.

When reviewing a Special Use Permit, the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following:

- (a) *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.
- (b) *No Undue Adverse Impact.* The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
- (c) *No Undue Interference with Surrounding Development.* The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

- (d) *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
- (e) *No Undue Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.
- (f) *No Undue Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.
- (g) *Compliance with Standards.* The proposed use and development complies with any additional standards imposed on it by the particular provision of the Zoning Code authorizing such use.

In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider:

- (1) **Public Benefit.** Whether, and to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community. Additional facts to consider are those of job creation and aesthetics and enhancement of the Village's reputation; and
- (2) **Mitigation of Adverse Impacts.** Whether, and to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping and screening.

Preliminary and Final Plat of Subdivision

The proposed plat of subdivision will resubdivide the existing parcel to create two lots. Lot 1, which will be sold to True North Properties, is being created for the existing building and will primarily consist of the building's footprint and a small area of property surrounding it. The remaining property is identified as Lot 2 and will remain under the Village's ownership. Lot 2 will be utilized for expanded parking areas to accommodate the apartments and downtown businesses.

The "R-5" Multiple Family Residence District requires a minimum lot area of 80,000 square feet for a Planned Unit Development (PUD) and 40,000 square feet for other uses. It also requires a minimum lot width of 275 feet for Lot 1 and 150 feet for Lot 2 based on the proposed use of the lots. The proposed PUD for Lot 1 (the lot created for the existing building) will have an area of ±29,529 square feet and lot width of ±319.87 feet. Lot 2 (to be utilized for parking areas) has an area of ±84,386 square feet and lot width of ±329 feet. As proposed, Lot 1 conforms to the minimum required lot width, but requires relief for a lot area of less than 80,000 square feet. Lot 1 also requires relief because it will not have direct street frontage as required by the Subdivision Ordinance. Lot 2 conforms to both the minimum required lot area and width to be utilized for a parking area.

Preliminary and Final Planned Unit Development

The Preliminary and Final Planned Unit Development is requested for the Lot 1 only, which consists of the existing building. The proposed plans for the Village's property (Lot 2) are preliminary and will be presented for site plan review by the Plan Commission and Village Board in the near future. The parking improvements would be constructed concurrently with the renovation of the building.

Building Elevations

The proposed elevations call for repairing the building where brickwork has deteriorated and also removing several small appendages that have been added to the building over the years. The overall

structure of the building will remain the same; however, the Developer is proposing to paint it white due to the multiple types of brick that have been used on the building over the years. The Developer has noted that there are at least four different types of brick on the building and finding matching brick to make the needed repairs will likely prove difficult. They have explained that painting the building will give it a uniform appearance. Besides painting the exterior of the building, the other noticeable changes will be the addition of a cornice treatment along the top of the building for a portion of the east elevation, and the north and south elevations and the addition of PTAC units (packaged terminal air conditioners) below many of the windows. The addition of the cornice treatment was at the request of the Village Board.

Site Plan, Parking, and Landscaping

The preliminary site plan consists of improvements surrounding the building that will be completed by the Village to accommodate additional parking for the downtown and the proposed apartments. The site and landscape plans presented for Lot 2 are conceptual and the Village will return for site plan review upon finalization of the plans.

The new parking will be provided within an expansion of the existing Village parking lot located north of the building and within a new parking lot directly east of the building. Both lots will be Village owned and available for use by the proposed apartments as well as downtown businesses. The parking area to east of the building will provide parking for 52 vehicles and the north parking area will provide an additional 85 parking spaces (137 new spaces total). It is anticipated that apartment residents will be provided vehicle stickers that will allow them to park in the lots overnight.

The proposed landscape plan will provide an extension of the existing 8-foot-tall fence along the rear lot line of the Church Street homes, in addition to the installation of plantings that include Green Mountain Sugar Maples and Triumph Elm trees. The fence and landscaping would also extend across the rear and side of the AT&T building to screen the building from view of the building and the new parking lot. Additional landscaping on the site includes foundation plantings and parking lot landscaping. An undulating berm is proposed along Church Street to screen the parking lot from the homes to the east. The plan also creates a plaza area to the north of the building that will provide a patio for the building's residents and also a space for a future train depot and platform for the proposed Amtrak service.

The trash enclosure for the building will be located within the parking lot on the east side of the building so it is easily accessible to the residents. The enclosure will be constructed of the same materials used for the existing trash enclosures throughout the downtown (these enclosures are located behind Parkside and Village Inn and adjacent to Sal's Pizza)

Required Relief

The following relief is being requested as part of the Planned Unit Development. The requested relief is a result of the unique shape of Lot 1 being sized to accommodate the footprint of the existing building and a small area of property surrounding it. There are no proposed additions to the building.

1. The "R-5" Multiple Family Residence District requires a minimum lot area of 80,000 square feet for a Planned Unit Development (PUD). Lot 1 will require relief to have a lot area of $\pm 30,425$ square feet.
2. The "R-5" district requires a minimum front yard setback of 30 feet. The proposed front yard setback is ± 5.1 feet. Staff notes there is approximately 125 feet from the building to the Church Street right-of-way.
3. The "R-5" district requires a minimum rear yard setback of 40 feet. The proposed rear yard setback is ± 1 foot.
4. The "R-5" district requires a minimum corner side setback of 30 feet. The proposed corner side yard setback is ± 5.1 feet. Staff notes there is approximately 21.9 feet existing between the building and the Mill Street right-of-way.

5. The "R-5" district requires a minimum side yard setback of 10 feet. The proposed side yard setback is ± 5 feet.
6. The "R-5" district allows a maximum floor area ratio (FAR) of 0.6 (60%). The proposed floor area is approximately 1.0 (100%).
7. The "R-5" district allows a maximum building coverage of 35%. The proposed building coverage is approximately 80%.
8. The "R-5" district allows a maximum impervious coverage of 60%. The proposed impervious coverage is approximately 82%.
9. The Zoning Ordinance requires 2.5 parking spaces per multi-family dwelling unit, requiring 93 parking spaces for the 37 apartments. The parking for the apartment units will be provided in the new Village parking lots adjacent to the building (on Lot 2) and no parking will be provided on Lot 1.

REQUESTED ACTION

The petitioner requests a motion of the Plan Commission, to recommend approval of Petition No. 22-03.01, Request is for approval of (i) a Map Amendment to rezoning the subject property from "M" Manufacturing to "R-5" Multiple Family Residential; (ii) a Special Use Permit for a Multiple Family Dwelling – 21 to 50 units; (iii) a Preliminary and Final Plat of Subdivision; and (iv) a Special Use Permit for a Preliminary and Final Planned Unit Development, including any necessary relief in accordance with the application submitted to, and which is on file with, the Village of Huntley.

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) standards, practices and permit requirements.
2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. No building permits, plans, or Certificates of Occupancy are approved as part of this submittal.
4. Final sign plan will require Village Board approval prior to issuance of any sign permits.

EXHIBITS

1. Site Rendering, dated 1/27/22
2. Building Elevations, dated 2/7/22
3. Floorplans, dated 11/18/21
4. Church Street Parking Lot Expansion and the Cornell Development Site Improvements, dated 3/10/22
5. Landscape Plan, dated 3/10/22
6. Plat of Subdivision, dated 3/10/22



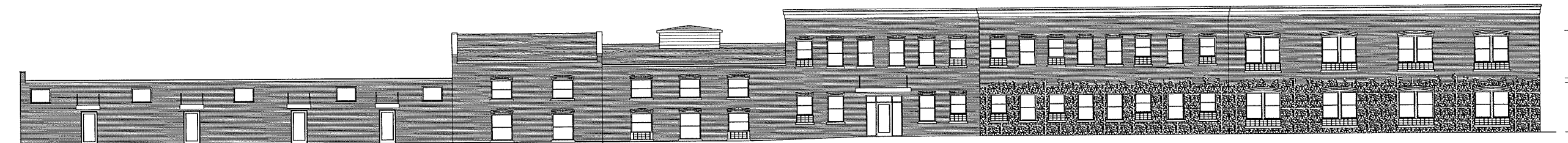
TRUE NORTH PROPERTIES INC.

11117 CHURCH STREET

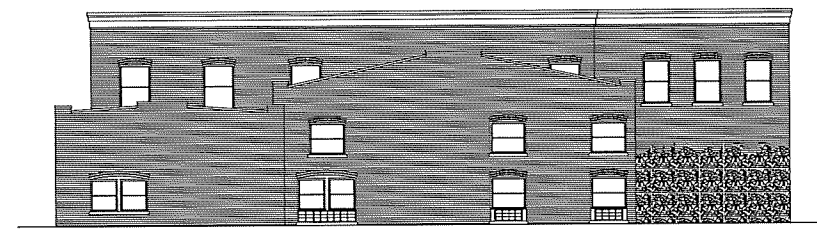
HUNTLEY ILLINOS

JANUARY 27, 2022

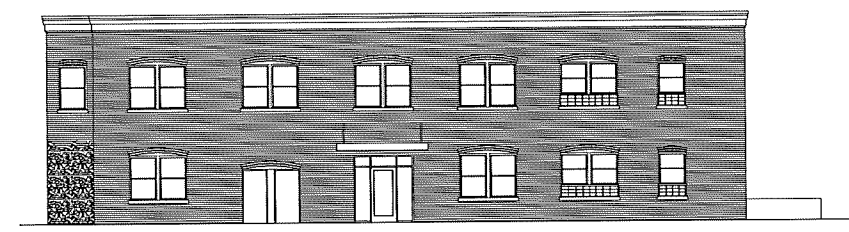
CHRIS WICHMAN



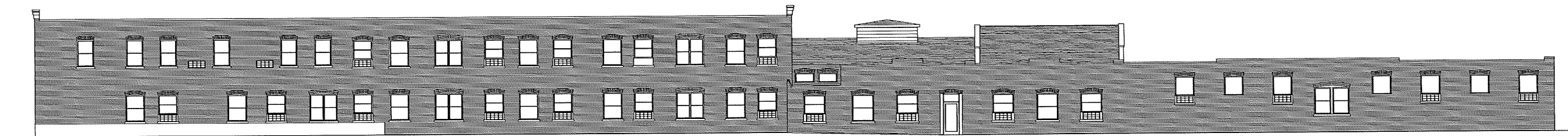
EAST ELEVATION SCALE 3/32" = 1'-0"



SOUTH ELEVATION SCALE 3/32" = 1'-0"



NORTH ELEVATION SCALE 3/32" = 1'-0"



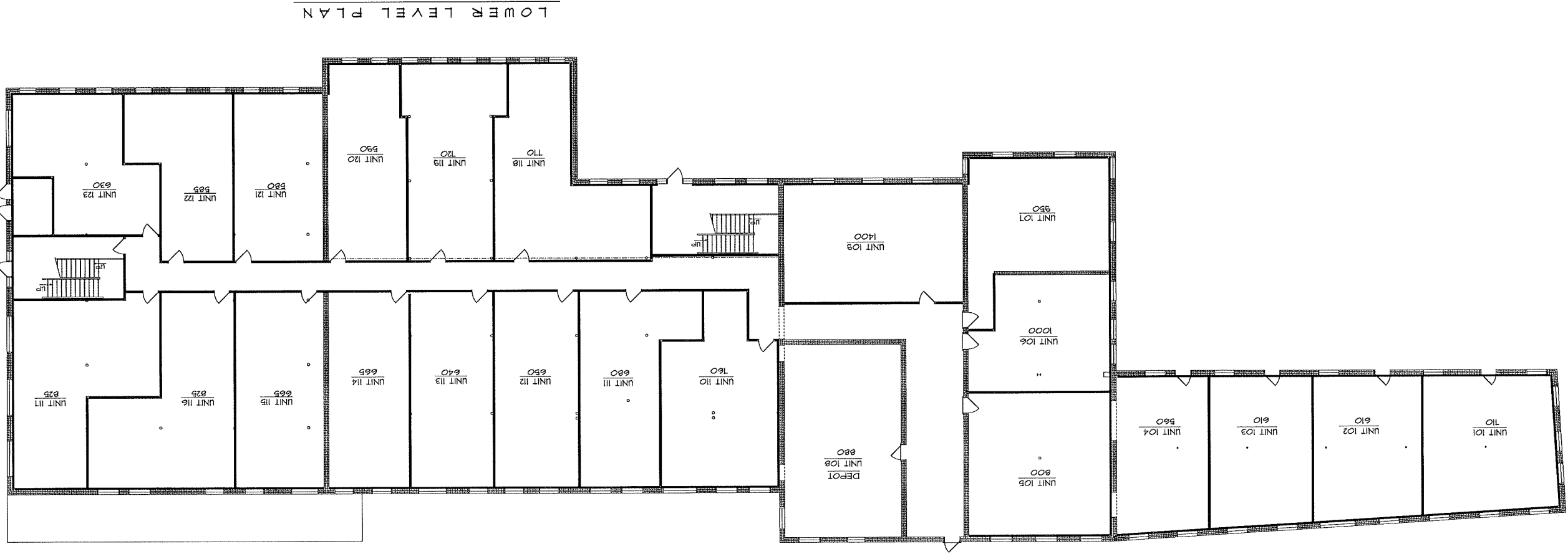
WEST ELEVATION SCALE 3/32" = 1'-0"

JOSEPH A. MEYER
 STRUCTURAL & PROFESSIONAL ENGINEER
 135 PARK AVE. BARRINGTON IL. 60010 847-383-0200

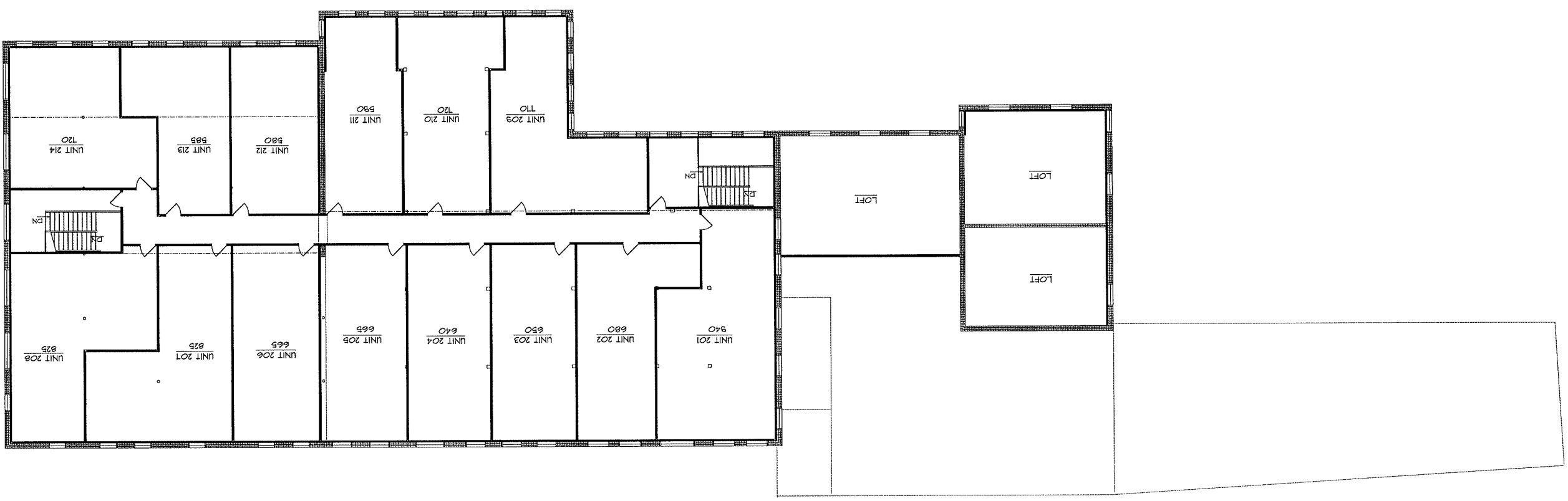
APARTMENT COMPLEX FOR:
TRUE NORTH PROPERTIES, INC.
 1111 CHURCH STREET HUNTLEY ILLINOIS

DATE
 NOV 18, 2021
 FEB 7, 2022
 REVISION

JOB #
 SHEET #
A3



LOWER LEVEL PLAN



UPPER LEVEL PLAN

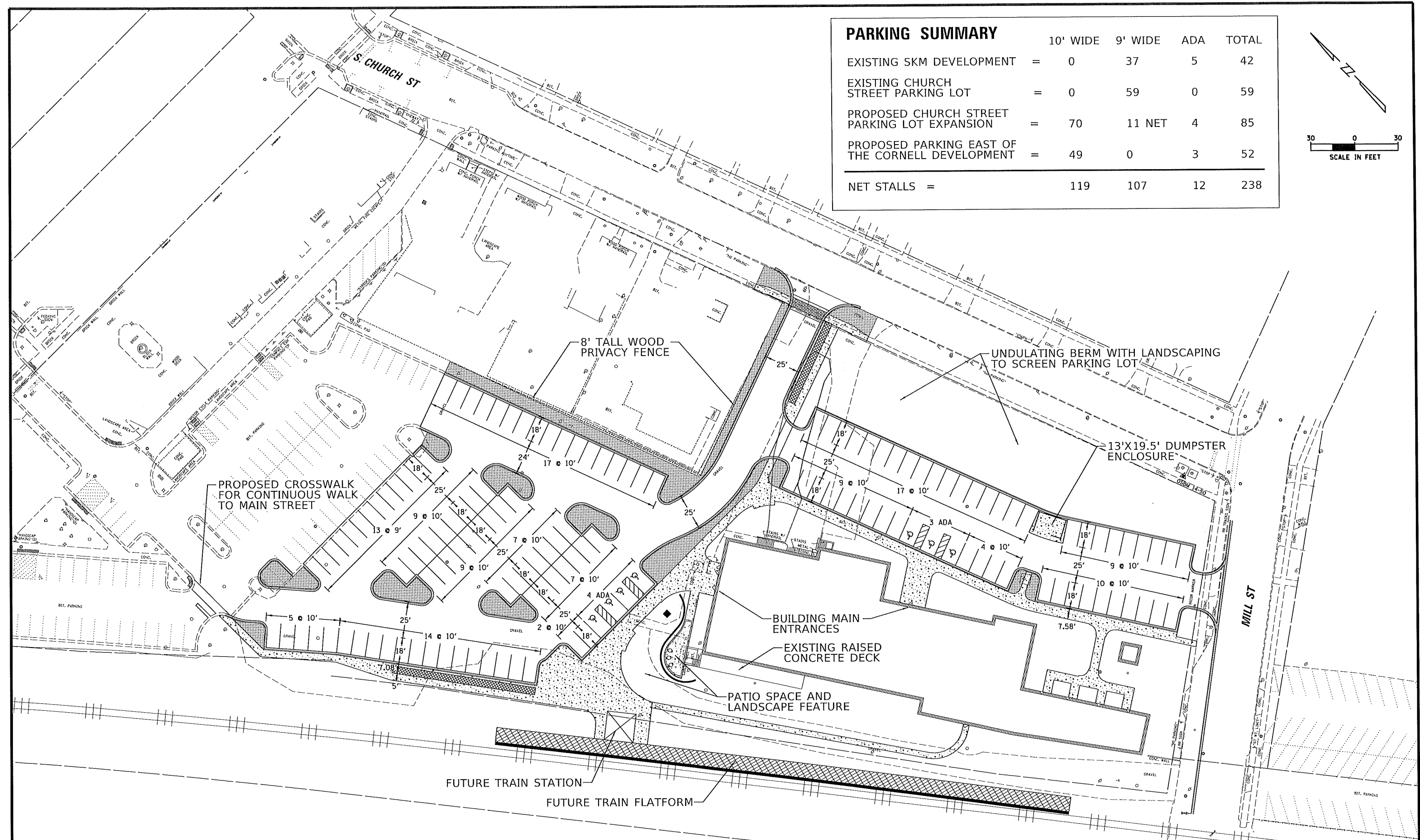
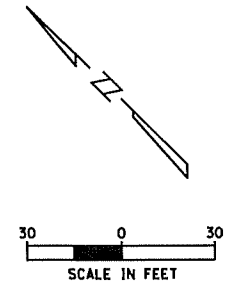
JOSEPH A. MEYER
STRUCTURAL & PROFESSIONAL ENGINEER
135 PARK AVE. BARRINGTON, IL 60010 847-392-0200

APARTMENT COMPLEX FOR:
TRUE NORTH PROPERTIES, INC.
1111 CHURCH STREET HUNTLEY ILLINOIS


DATE: NOV 18, 2021
REVISION

JOB #
SHEET # **A1**

PARKING SUMMARY		10' WIDE	9' WIDE	ADA	TOTAL
EXISTING SKM DEVELOPMENT	=	0	37	5	42
EXISTING CHURCH STREET PARKING LOT	=	0	59	0	59
PROPOSED CHURCH STREET PARKING LOT EXPANSION	=	70	11 NET	4	85
PROPOSED PARKING EAST OF THE CORNELL DEVELOPMENT	=	49	0	3	52
NET STALLS	=	119	107	12	238



CHRISTOPHER B. BURKE ENGINEERING, LTD.
 9575 W. Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (847) 823-0500

CLIENT:  **VILLAGE OF HUNTLEY**
 10987 MAIN STREET
 HUNTLEY, IL 60142
 (847) 669-3450

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL:
				STREETSCAPE

DSCN. _____
 DWN. _____
 CHKD. _____
 SCALE: 30'
 PLOT DATE: 3/10/2022
 CAD USER: rmorel
 FILE NAME: N:\Huntley\070103\070103.00096\CIVIL\CHURCH_STREET_OVERALL_070103.00096.SHT

TITLE: **CHURCH STREET PARKING LOT EXPANSION AND THE CORNELL DEVELOPMENT SITE IMPROVEMENTS**

PROJ. NO. 070103.0096
 DATE: _____
 SHEET OF _____
 DRAWING NO. _____



SYM.	BOTANICAL NAME	COMMON NAME	Qty.	Size	Cond.
Deciduous Shade Trees					
Ac sa	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	13	2 1/2"	B&B
Ce oc	Celtis occidentalis	Hackberry	10	2 1/2"	B&B
Li st	Liquidambar styraciflua	Sweetgum	8	2 1/2"	B&B
Qu ru	Quercus rubra	Red Oak	7	2 1/2"	B&B
Ta di	Taxodium distichum 'Shawnee Brave'	Shawnee Brave Bald Cypress	1	2 1/2"	B&B
Ti co	Tilia cordata	Littleleaf Linden	10	2 1/2"	B&B
Ul tr	Ulmus 'Morton Glossy' Triumph	Triumph Elm	8	2 1/2"	B&B
Evergreen Trees					
Pi om	Picea omorika	Serbian Spruce	7	8'	B&B
Ornamental Trees					
Am gr	Amelanchier grandiflora	Serviceberry	7	6'	B&B
Co ma	Comus mas	Cornelian Cherry Dogwood	6	6'	B&B
Sy re	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	6'	B&B
Deciduous Shrubs					
Ar me	Aronia melanocarpa 'UCCONAM165'	Low Scape Mound Chokeberry	7	#2	Cont.
Di lo	Dienella lonicera	Dwarf Bush Honeysuckle	121	#3	Cont.
Fo in	Forsythia x Intermedia 'New Hampshire Gold'	New Hampshire Gold Forsythia	35	4"	B&B
Hy ka	Hypericum kalmianum 'Ames'	Ames St. Johnswort	23	#1	Cont.
Hy qu	Hydrangea quercifolia 'Brenhill'	Oakleaf Hydrangea	13	#3	Cont.
Ri al	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	6	#5	Cont.
Ro Ra	Rosa 'Radra'	Coral Knock Out Rose	4	#3	Cont.
Sp ve	Spiraea x vanhouttei 'Renaissance'	Renaissance Spiraea	26	4"	B&B
Sy me	Syringa meyerii 'Palibiri'	Dwarf Korean Lilac	3	#5	Cont.
Evergreen Shrubs					
Bu CG	Buxus 'Glenside'	Chicagoland Green Boxwood	90	#2	Cont.
Il ve	Ilex verticillata 'Famow Bpop'	Berry Poppins Winterberry Holly	21	#3	Cont.
Ju pr	Juniperus procumbens 'Nana'	Dwarf Japanese Garden Juniper	30	#5	Cont.
Vines					
Pa qu	Parthenocissus quinquefolia	Virginia Creeper	25	#2	Cont.
Perennials / Grasses					
Al SB	Allium Summer Beauty	Summer Beauty Onion	110	#1	Cont. 1' oc
Ca ac	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	37	#1	Cont. 2' oc
Ge Br	Geranium Brookside	Brookside Geranium	104	#1	Cont. 1' oc
Li sp	Liriope spicata	Creeping Lilyturf	440	10 Flat	Cont. 1' oc
He HR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	23	#1	Cont. 1.5' oc
Ne KC	Nepeta x faassenii 'Kit Cat'	Kit Cat Catmint	154	#1	Cont. 2' oc
Pa vi	Panicum virgatum 'Shenandoah'	Shenandoah Red Switch Grass	3	#1	Cont. 2' oc
Sp he	Sporobolus heterolepis	Prairie Dropseed	130	#1	Cont. 2' oc

- GENERAL CONSTRUCTION NOTES:**
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
 - ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
 - ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
 - LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
 - EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 18" AND BACKFILL WITH TOPSOIL.
 - BERM ALL PARKING LOT ISLANDS TO A HEIGHT 3" ABOVE BACK OF TOP OF CURB.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT NATURAL OR DESIGNED DRAINAGE FLOW PATTERN.
 - ANY IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE SCREENED AND NOT CONTAIN STONES, LARGE CLUMPS GREATER THAN 1", ROOTS, OR ANY DEBRIS. THE pH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC CONTENT SHALL BE BETWEEN 3 - 6%.
 - ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACKFILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOT BALL DIAMETER, WATERED, FERTILIZED, PRUNED AND HAVE ALL TAGS AND ROPES REMOVED.
 - TREES SHALL BE STAKED AND GUYED AND WATERING SAUCER AT BASE.
 - ALL MASS PLANTED SHRUB BEDS TO BE BERMED 2" TO 3" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
 - LAWN AND BED AREAS SHALL BE ROTO-TILLED AND CLUMPS OF SOIL, AGGREGATES AND DEBRIS RAKED OUT AND REMOVED FROM THE SITE.
 - ALL BEDS SHALL BE EDGED, HAVE WEED PRE-EMERGENT HERBICIDE APPLIED AT THE RECOMMENDED RATE, AND SHREDDED HARDWOOD MULCH SPREAD AT A MINIMUM OF 3" DEPTH.
 - ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.

CHRISTOPHER B. BURKE ENGINEERING, LTD.
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 Rosemont, Illinois 60018
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CLIENT: **HUNTLEY ILLINOIS**

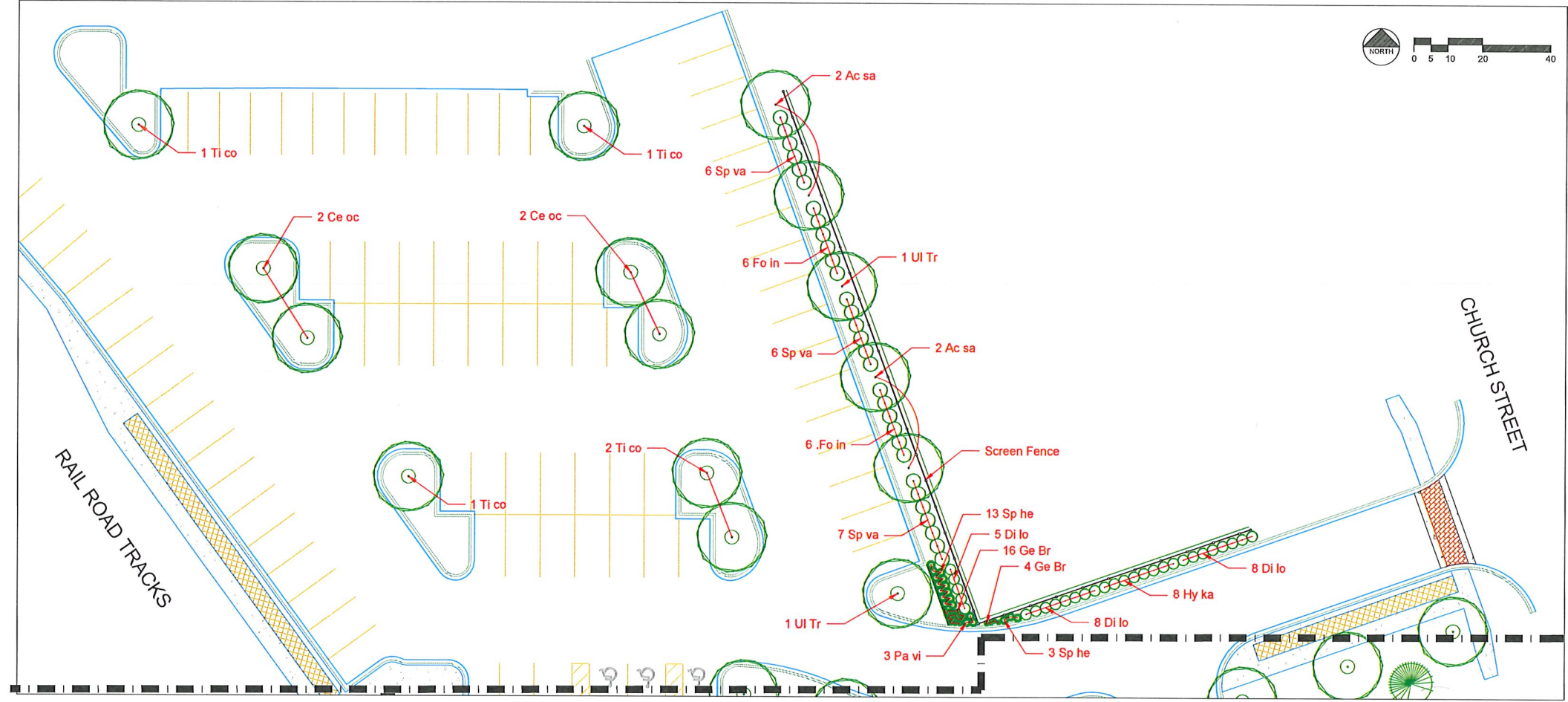
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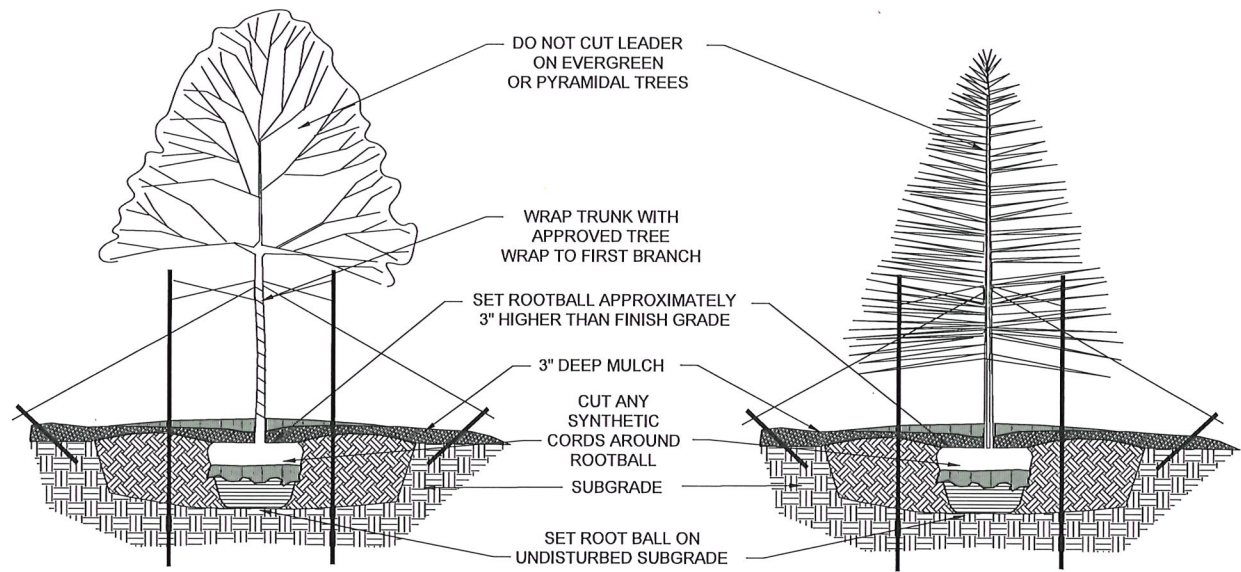
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 PLOT DATE:
 MODEL:

TITLE: **THE CORNELL LANDSCAPE PLAN**
 Douglas Gotham, RLA157.000575

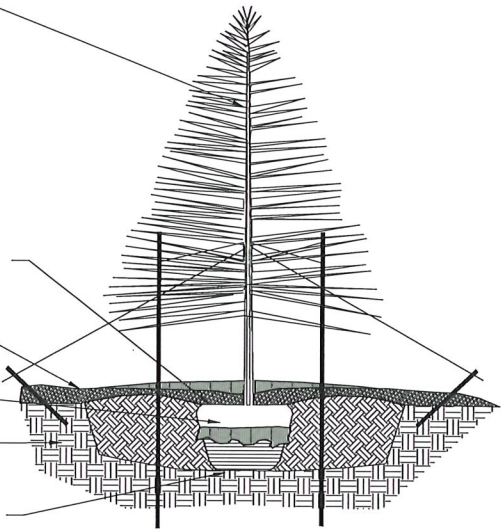
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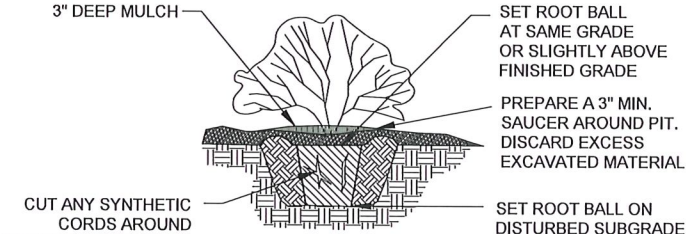
SEE SHEET L 1



TREE PLANTING DETAIL
NOT TO SCALE




EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

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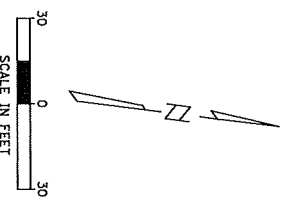
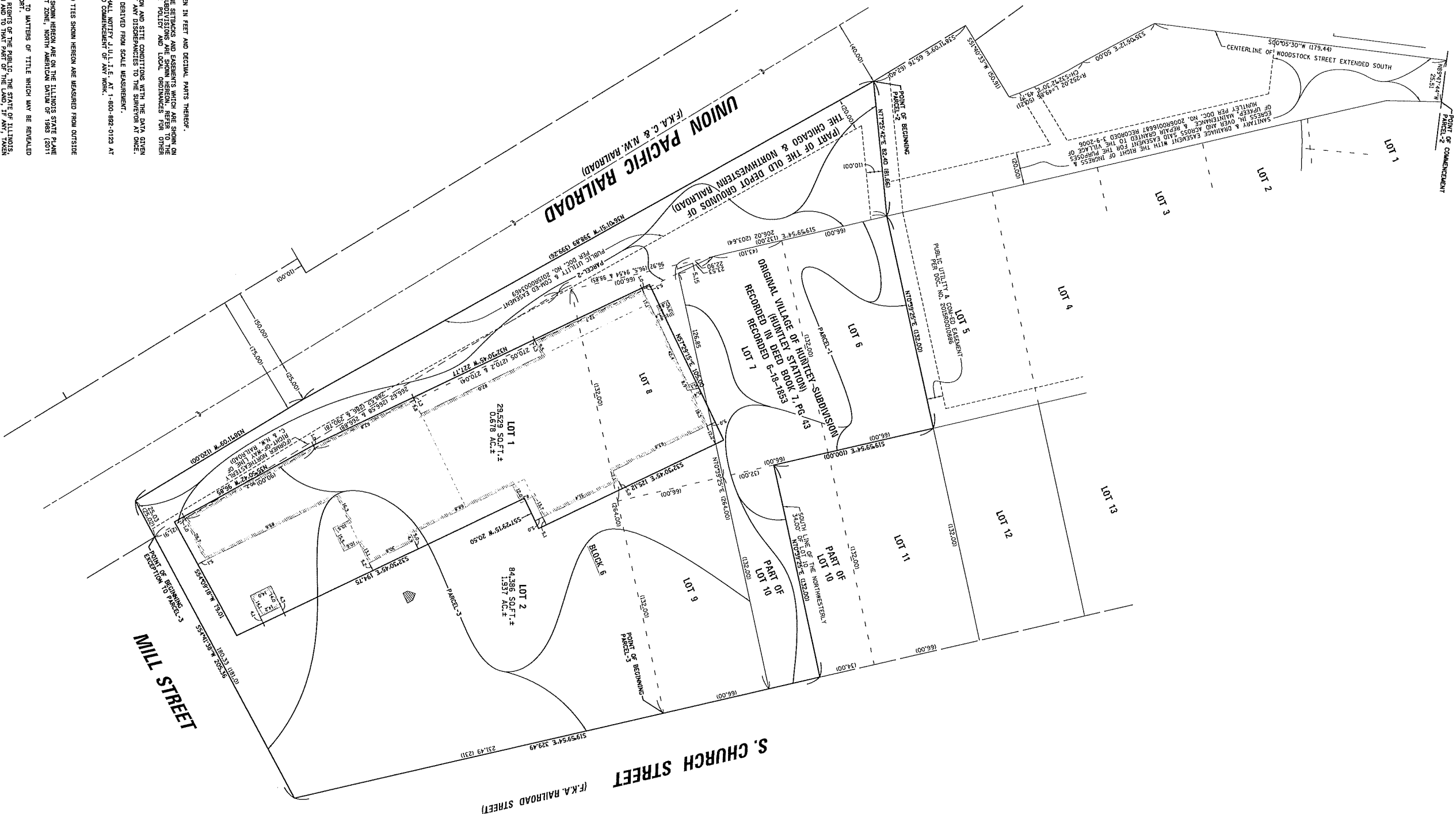
CLIENT:  **HUNTLEY ILLINOIS**
VILLAGE OF HUNTLEY
10987 MAIN STREET
HUNTLEY, IL 60142
(847) 669-3450

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL:
FILE NAME	N:\Huntley\070103\070103.0096\Landscape			

TITLE: **THE CORNELL LANDSCAPE PLAN**
PROJ. NO. 070103.0096
DATE: 3/10/2022
SHEET 2 OF 2
DRAWING NO. **L 2**
Douglas Gotham, RLA157.000575

THE CORNELL SUBDIVISION

MAIN STREET



SCALE IN FEET
18-33-127-037

LEGEND

•	IRON PIPE FOUND (IPF)
x	IRON ROD FOUND (IRF)
o	K-CUT FOUND
o	MEASURED
o	RECORD
---	PROPERTY LINE
---	R.O.W. LINE
---	EASEMENT LINE
---	ABANDONED/EXTENSION LINE
---	PROPERTY LINE

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
 2. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAN, SURVEY RECORD OR LOCAL ORDINANCES SHALL BE CONSIDERED. ALL OTHER RESTRICTIONS, EASEMENTS, RIGHTS AND LOCAL ORDINANCES SHALL BE THE RESPONSIBILITY OF THE BUYER.
 3. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAN AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
 4. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENT.
 5. CONTRACTOR/DEVELOPER SHALL NOTIFY A.L.L.I.E. AT 1-800-892-0123 AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- SUBDUCTION NOTES:**
1. BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM OUTSIDE FACE OF BUILDING.
 2. BEARINGS AND DISTANCES SHOWN HEREON ARE ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), GRID.
 3. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
 4. PROPERTY IS SUBJECT TO: RIGHTS OF THE PUBLIC; THE STATE OF ILLINOIS; OR USED FOR ROAD PURPOSES.
 5. THIS SURVEY IS BASED ON FIELD WORK PERFORMED ON 2-10-2012, 2-28-2012, 3-23-2012 THRU 6-8-2014, 7-19-2014 THRU 7-22-2014, 8-1-2014, 8-13-2014, 9-12-2014 THRU 9-17-2014, 12-10-2014 & 1-24-2017.

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Rosemont, Illinois 60018
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THE CORNELL SUBDIVISION
VILLAGE OF HUNTLEY, ILLINOIS
PREPARED FOR
VILLAGE OF HUNTLEY

CALC.	KJR	PROJECT NO.
DWN.	AKR	070103.00096
CHKD.	JFM	SHEET 1 OF 2
SCALE:	1"=30'	DRAWING NO.
DATE:	03-10-2022	RESUB070103.96C1

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION
PUBLIC HEARING

MEETING DATE: March 14, 2022

SUBJECT: Petition No. 22-03.02, Christianson Companies, as petitioner, and RUBY-02-HNTLYCMRCL, LLC., as owner, Lot 8 of Huntley Crossings Phase II Plat II (generally located east of Route 47 and south of Regency Parkway), Request is for approval of (i) a Special Use Permit for a Car Wash within the “B-3 (PUD)” Shopping Center Business District – Planned Unit Development; and (ii) Final Planned Unit Development for the construction of a new ±4,551 square foot Car Wash, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley.

BACKGROUND INFORMATION

Petitioner: Christianson Companies, 4609 33rd Avenue S - Suite 400 Fargo, ND 58104

Owner: RUBY-02-HNTLYCMRCL, LLC., 6723 Weaver Rd. – Suite 108 Rockford, IL 61114

Subject Location: ±1.43 acres generally located east of Route 47 and south of Regency Parkway, Huntley, IL 60142; PIN: 02-04-151-002

Request: The petitioner is requesting approval for a Special Use Permit for Car Wash within the “B-3 (PUD)” Shopping Center Business District – Planned Unit Development and Final Planned Unit Development approval for the construction of a new ±4,551 square foot Car Wash, including any necessary relief.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail Service Commercial
North	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail Service Commercial
South	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail Service Commercial
East	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail Service Commercial
West	“C-2” Regional Retail	Vacant / Heartland Bank	Mixed Use (Commercial / Office)

DEVELOPMENT SUMMARY

The petitioner is proposing to construct a Tommy’s Car Wash on Lot 8 of Huntley Crossings – Phase II Plat II. The ±1.43-acre parcel lies one lot south of Regency Parkway and is zoned “B-3 (PUD)” Shopping Center Business District – Planned Unit Development. The Zoning Ordinance includes Car Wash as a Special Use within the “B-3” Shopping Center Business District. Tommy’s Car Wash currently operates in Orland Park with new locations coming soon to Lombard, Loves Park, and Peoria.

Site Plan

The Petitioner proposes to construct a new 4,551 square foot car wash complete with a 110' wash tunnel. The principal access to the site is provided by the private service road, which runs parallel to Route 47 and connects Regency Parkway to Powers Road. The proposed building is sited to comply with the platted building setback lines and maintains the required 100' greenbelt across the Route 47 frontage. Vehicles utilizing the car wash will enter through the northeast entrance and proceed to the payment canopy in one (1) of the three (3) drive-thru lanes. The lanes consist of one (1) cashier lane which accommodates all payment types and two (2) express lanes reserved for customers using the app or those enrolled in the car wash membership program. Plans demonstrate these drive aisles can accommodate 9 vehicles stacked per lane with a maximum total stacking capacity of 35 vehicles (this includes vehicle stacking to enter the car wash). Vehicles circulating through the wash tunnel will exit using the southeast access drive. The south side paved lot is comprised of sixteen (16) vacuum stations in oversized stalls and eight (8) 10' x 19' parking spaces including one (1) required ADA parking space.

Building Elevations

The proposed wash tunnel is powder coated structural steel with clear anodized storefront glass and an acrylic roof system. The tunnel is capped on both the east and west elevations with the Tommy's signature "sunburst" using red and black aluminum composite panels. The tunnel is bookended by two gray brick masonry parapet towers. The 24' and 28' tall structures feature 2 charcoal brick soldier courses and charcoal brick wainscot at the base. The north elevation supports the entrance canopy which projects from the west tower. Accent materials include metallic aluminum cornice, fascia and eaves.

Landscaping

Landscape plans have been submitted which show a mix of landscaping elements along all lot lines and foundation plantings where possible at the entrance and exits of the wash tunnel and along the north side drive aisle. The plan proposes (23) large trees and (10) small trees offering (4) different species as well as (121) shrubs of (6) different species, which complies with the Village's landscape ordinance. Plantings have been placed to offer a natural screening of mechanical equipment and dumpster. A hedgerow of red twig dogwood has been planted atop a 1-½ - foot to 2-½ - foot tall modular brick retaining wall along the Route 47 frontage of the lot.

Lighting

The Commercial Design Guidelines Section (B)(7)(d) state that lighting used in outlot development along Route 47 shall be of decorative design. It is also required the decorative lighting style be compatible with the fixtures used in the nearby outlot developments. The petitioner will be required to submit light fixture specifications for both the wall pak and pole mount lighting. The Village must verify that the proposal utilizes a comparable fixture style and mounting height as used in the neighboring development.

Signage

Wall Signs

The petitioner proposes a compliant ±39 square foot illuminated wall sign on the west elevation, facing Route 47. The proposal also calls for the installation of a second illuminated wall sign of the same size on the east elevation, facing the private access road. Relief from Sections 156.123(C) and 156.123(D) has been requested by the petitioner for the installation of the additional wall sign upon an elevation with no street frontage. Relief from 156.123(A) would accommodate the proposed wall sign area overage of ±27.16 square feet.

Monument Sign

The petitioner has proposed a standalone monument sign sighted near the northwest corner of the development area, within the 100' greenway buffer. The 7'-3" tall sign features a charcoal brick base and a complaint ±51 square feet of face area per side. It is noted that the sign may not be installed any closer than 10' from the neighboring north property line. Along with the Tommy's logo, the monument face proposed a 20 Square foot full color LED electronic message center on each side. Relief will be required from Section 156.121(A) to allow a changeable electronic message board as a component of the monument sign.

Directional Signs

The petitioner provides several directional signs upon the property including three (3) freestanding signs installed near the wash entrance and exit. The proposed directional pylons are 3' tall and do not exceed 6 square feet in face area as compliant with the Zoning Ordinance. It is noted that Section (B)(4)(d) of the Commercial Design Guidelines prohibit the use of pole / pylon signs and all directional monument signs are required to feature a brick base. These same brick base standards shall be applied to the three proposed directional freestanding signs "enter", "exit" and "car clean exit." The signs shall be installed no closer than 5' from the property line. The proposal also calls for the installation of three (3) illuminated wall signs installed upon the entrance canopy. The wall signs "Cashier" and "App" both comply with the 6 square foot limitation, however, the "Entrance" sign have a face area of 10.93 square feet.

Village Board Concept Review

The Village Board reviewed conceptual plans for Tommy's Car Wash on December 2, 2021 and provided the following comments.

1. Concern was expressed regarding the location of the car wash in Huntley Crossings Phase II and its proximity to the new car wash proposed near at the NWC of Route 47 and Kreutzer. *The petitioner mentioned given the population and traffic counts, a second car wash can be supported.*
2. It was requested that the monument signage feature a brick base in compliance with the Villages design standards. *As proposed, the monument sign uses a charcoal brick base. The sign must be further modified to include brick surround and stone cap.*
3. It was recommended that an upgraded façade package be used to ensure the Huntley facility would utilize the highest quality design standards. *The petitioner has removed all profiled metal panels and replaced all fiber cement panels and CMU with brick.*

Required Relief

As proposed, the plans will require the following relief to be approved as part of the Site Plan Review:

1. Section 156.123(D) of the Zoning Ordinance, allows one wall sign per street frontage. Section 156.123(C) requires the location of the sign be limited to the street frontage of the building. Section 156.123(A) states the total surface area of all wall signs on a building shall not exceed one (1) square foot for each lineal foot of the building frontage. The site only has frontage on Route 47 and the building's frontage measures ±50.63-feet, therefore allowing one wall sign measuring up to 50.63 square feet. Relief is required to allow a total of two (2) wall signs totaling ±77.78 square feet, with the second wall sign installed upon the rear elevation.

SPECIAL USE PERMIT

A Special Use Permit for a Car Wash in the "B-3" District is requested to accommodate the proposed development of the site with a Tommy's Car Wash.

Standards for Special Uses

When reviewing a Special Use Permit, the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following (*The petitioner's responses to these standards are provided as an attachment to this report*):

- (a) *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.
- (b) *No Undue Adverse Impact.* The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

- (c) *No Undue Interference with Surrounding Development.* The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.
- (d) *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
- (e) *No Undue Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.
- (f) *No Undue Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.
- (g) *Compliance with Standards.* The proposed use and development complies with any additional standards imposed on it by the particular provision of the Zoning Code authorizing such use.

In determining whether the applicant’s evidence establishes that the foregoing standards have been met, the Plan Commission shall consider:

- (1) Public Benefit. Whether, and to what extent, the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community. Additional facts to consider are those of job creation and aesthetics and enhancement of the Village’s reputation; and
- (2) Mitigation of Adverse Impacts. Whether, and to what extent, all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping and screening.

ACTION REQUESTED

The petitioner, Christianson Companies, and RUBY-02-HNTLYCMRCL, LLC., as owner, request a motion of the Plan Commission, to recommend approval of (i) a Special Use Permit for a Car Wash within the “B-3 (PUD)” Shopping Center Business District – Planned Unit Development; and (ii) Final Planned Unit Development for the construction of a new ±4,551 square foot Car Wash, including any necessary relief, in accordance with the plans that have been submitted to, and are on file with, the Village of Huntley.

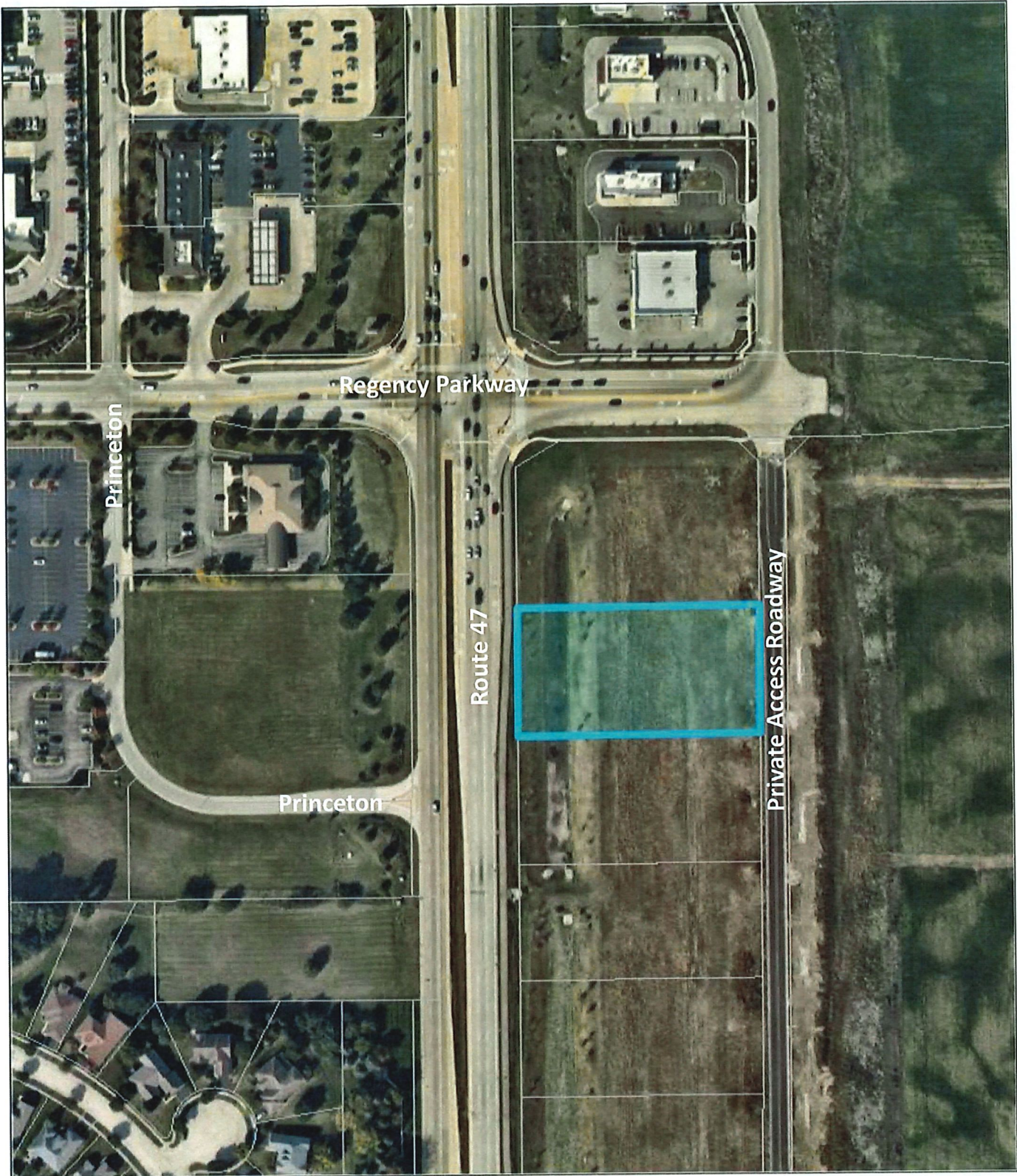
Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

- 1. All public improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- 2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- 3. The lighting fixture shall be selected to match that of the neighboring development and the photometric plans shall be resubmitted and approved by the Development Services Department.
- 4. The monument sign shall be revised to show brick surrounding the sign face and utilize a decorative stone cap. Sign plans shall be resubmitted and approved by the Development Services Department.
- 5. The directional signs shall be revised to provide a brick base.
- 6. No building plans, permits, sign permits, or Certificates of Occupancy are approved as part of this submittal.

EXHIBITS

- 1. Aerial Photo, 9/30/21
- 2. Petitioner’s Cover Letter, 11/3/21

3. Petitioner's Response to Special Use Standards
4. Site Plan, 2/15/22
5. Site Engineering Plans, 2/18/22
6. Building, Dumpster, and Vacuum Elevations, 2/21/22
7. Landscape Plan, 1/12/22
8. Sign Package, 2/21/22
9. Photo Exhibit (15819 Wolf Rd, Orland Park), 7/31/21



Tommy's Express Car Wash
Huntley Crossings Phase II Plat II Lot 8

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



VILLAGE OF HUNTLEY
10987 Main Street
Huntley, IL 60142
(847)669-9600

SCALE: 1" = 200'

Print Date: 11/3/2021



CHRISTIANSON
C O M P A N I E S

11/3/2021

Village of Huntley
Village Board of Trustees

To whom it may concern,

Christianson Companies is proposing to build a Tommy's Express Car Wash on the southeast corner of Regency Parkway and Highway 47. Tommy's Express is a state-of-the-art, environmentally friendly, automated car wash. With our conveyor belt and license plate reader technology, Tommy's offers the best and most efficient wash on the market. This car wash uses a membership model where customers can pay a monthly fee to join the TommyClub and receive unlimited washes and instant access in the TommyClub lane. Tommy's employs an advanced water reclaim system that reclaims one third of the water used in every wash, and uses 60% less fresh water than washing at home. We are respectfully asking the Village Board of Trustees to support our project because we believe we will be a great addition to the community, offering high quality jobs, and a benefit to the residents of the Village of Huntley.

Sincerely,

Tanner Brandt
Christianson Companies

4609 33rd Ave S Suite 400 Fargo, ND 58104



CHRISTIANSON

C O M P A N I E S

Standards for Special Use Permit Narrative

(a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

If our SUP is granted, our use would be in harmony with the neighboring uses. There are other auto uses in the immediate area and our car wash would not cause any issues for the neighboring businesses.

(b) No Undue Adverse Impact. The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

We are the first business to come in to this newly developed piece of land that was developed for commercial uses like a car wash. The utilities and access road were provided for a commercial use like a car wash and we will not have a negative effect on the area or the public by building here.

(c) No Undue Interference with Surrounding Development. The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

The car wash will fit in very well with the neighboring uses, and will not interfere with any other type of neighboring use that will come along in the development in the future. It is very common to have an express car wash as a neighbor to Quick Service Restaurants and other auto uses like this area.

(d) Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities (water consumption and waste generation), drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

The developer of this land has added an access road and installed all necessary utilities for commercial uses such as a car wash. The infrastructure has been tailored for what we need to successfully run a car wash.

(e) No Undue Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.

There is a lighted intersection at the corner of Regency Parkway and IL-47 as well as an access road on the east side of the property that leads south to Powers Road. This is optimal access for our car wash and our site plan will provide adequate circulation and not cause any unnecessary traffic congestion or traffic issues.

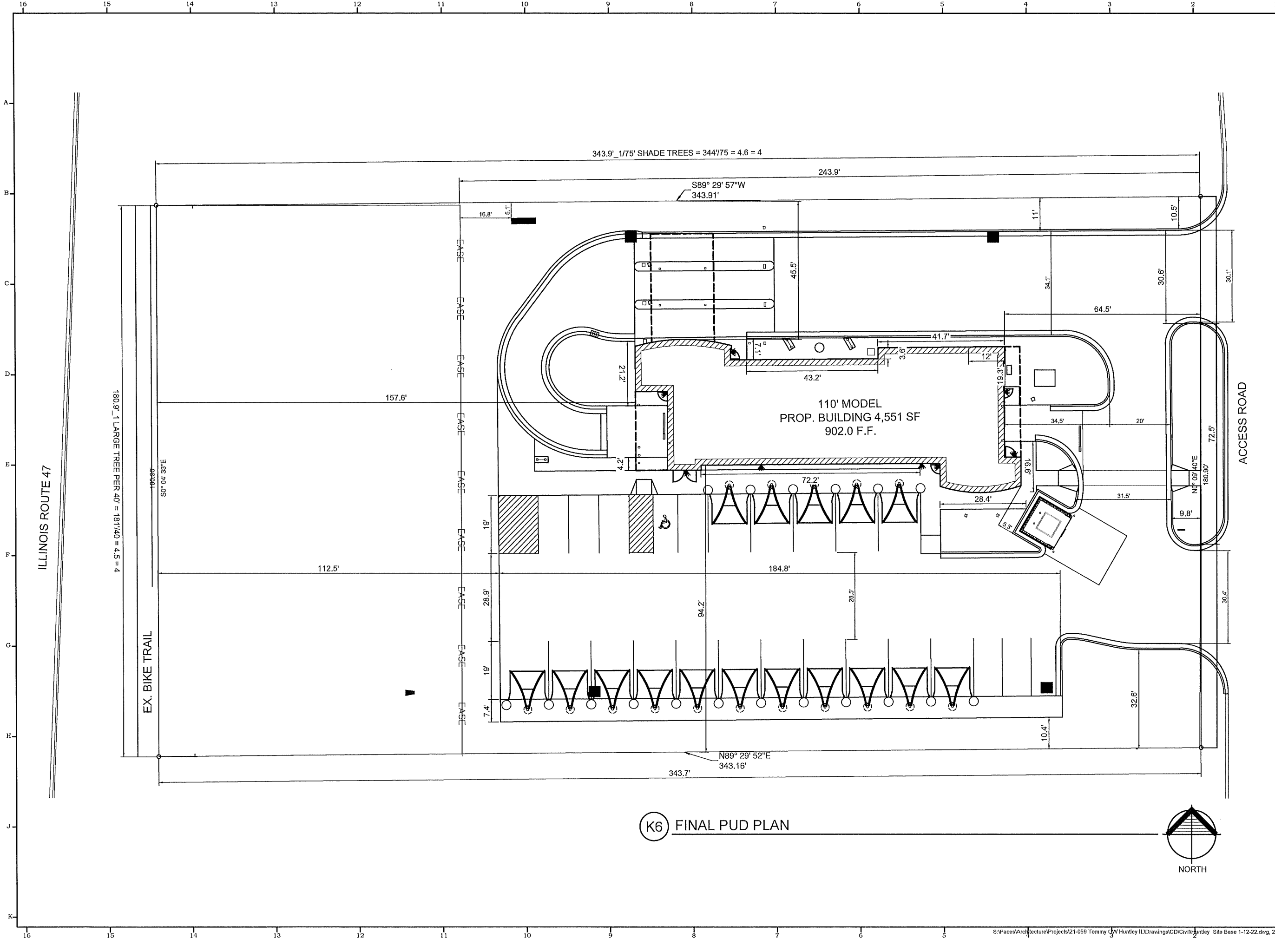
(f) No Undue Destruction of Significant Features. The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.

There are no natural, scenic or historical features of significant importance on this property.

(g) Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

We are in compliance with all additional standards and will work with the city to make sure we are in compliance with all areas of the code if we are granted the Special Use Permit.

DATE:	02/15/2022
PROJECT NO:	21-059
DRAWN BY:	RS
CHECKED BY:	CH
REVISIONS:	



CAR WASH
41W810 POWERS RD.
HUNTLEY, IL

P####

CHRISTIANSON
 COMPANIES
 PH. (701) 281-9500
 FAX (701) 281-9501
 4609 33RD AVE. S.
 SUITE 400
 FARGO, ND 58104

DRG
 DESIGN RESOURCES GROUP
 PH. (701) 499-0212
 FAX (701) 281-9501

SHEET DESCRIPTION:
 FINAL PUD PLAN

Sheet
PUD

(K6) FINAL PUD PLAN



GENERAL NOTES:

1. REFERENCED SPECIFICATIONS
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED APRIL, 2016 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT STANDARD SPECIFICATIONS) FOR ROADWAY AND DRAINAGE IMPROVEMENTS.
- STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, 7th EDITION (STANDARD SPECIFICATIONS) FOR WATER MAIN, SANITARY SEWER AND STORM SEWER IMPROVEMENTS.
- VILLAGE OF HUNTLEY MUNICIPAL CODE.
- VILLAGE OF HUNTLEY DEVELOPMENT REQUIREMENTS AND STANDARDS MANUAL
- VILLAGE OF HUNTLEY APPROVED MATERIAL LIST
- ILLINOIS URBAN MANUAL, LATEST EDITION
- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION)
2. NOTIFICATION
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE FOLLOWING:
- THE VILLAGE OF HUNTLEY 48 HOURS PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION.
- THE ELECTRIC, TELEPHONE AND GAS UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION (JULIE).
3. INDEMNIFICATION
- THE CONTRACTOR(S) SHALL INDEMNIFY THE VILLAGE OF HUNTLEY, THE ENGINEER, OWNER AND THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THIS WORK ON THIS PROJECT AND NAME THEM AS CO-INSURED.
4. GENERAL
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE VILLAGE OF HUNTLEY
- THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED BY THE CONTRACTOR. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THOSE IMPROVEMENTS INDICATED ON THE ENGINEERING PLAN.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAYS, ETC., DAMAGED BY THE CONTRACTOR'S OPERATIONS AND NOT CALLED FOR IN THE CONTRACT TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE LOCATION OF VARIOUS EXISTING UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO THE CONSTRUCTION OPERATIONS.
5. PERMITS
- NO SITEWORK SHALL BEGIN UNTIL A VILLAGE OF HUNTLEY PERMIT HAS BEEN OBTAINED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY PERMITS FROM THE VILLAGE OF HUNTLEY AND PAY ALL APPLICABLE FEES.
6. EXCAVATION AND GRADING
- NO EQUIPMENT, MATERIALS OR WORK SHALL BE PLACED OR PERFORMED OUTSIDE THE LIMITS OF THE PROJECT WITHOUT THE APPROVAL OF THE OWNER.
7. SUBGRADE PREPARATION, AGGREGATE BASE COURSE AND HOT MIX ASPHALT SURFACES
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE IDOT STANDARD SPECIFICATIONS.
- AFTER REMOVAL OF EXISTING PAVEMENT, AGGREGATE BASE SHALL BE PROOF-ROLLED WITH LOADED 6-WHEEL TRUCK. FAILED BASE AREAS SHALL BE REMOVED AND REPLACED WITH CA-6, GRADE 8 OR 9 GRAVEL, PAID AT CONTRACT PRICE PER TON AS BID.
- NO HOT MIX ASPHALT SURFACING SHALL BE INSTALLED UNTIL THE BASE COURSE GRAVEL HAS BEEN APPROVED BY THE ENGINEER.
- BITUMINOUS PRIME SHALL BE APPLIED AT THE RATE OF 0.20 GALLONS PER SQUARE YARD.
- HOT MIX ASPHALT SURFACE SHALL CONSIST OF A BINDER COURSE AND A SURFACE COURSE AS SHOWN ON THE TYPICAL SECTION AND SHALL BE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS.
8. PAVEMENT MARKINGS
ALL PAVEMENT STRIPING AND LETTERS AND SYMBOLS SHALL CONFORM TO SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS RELATED TO PAVEMENT MARKINGS. INSTALLATION SHALL CONFORM TO SECTION 780.06 AND ALL MATERIAL TO ARTICLE 1095.02. ALL PAINT PAVEMENT MARKING LINES AND LETTER AND SYMBOLS SHALL BE INSTALLED IN THE FIELD AT THE LOCATIONS DESIGNATED BY THE OWNER.

HUNTLEY, ILLINOIS

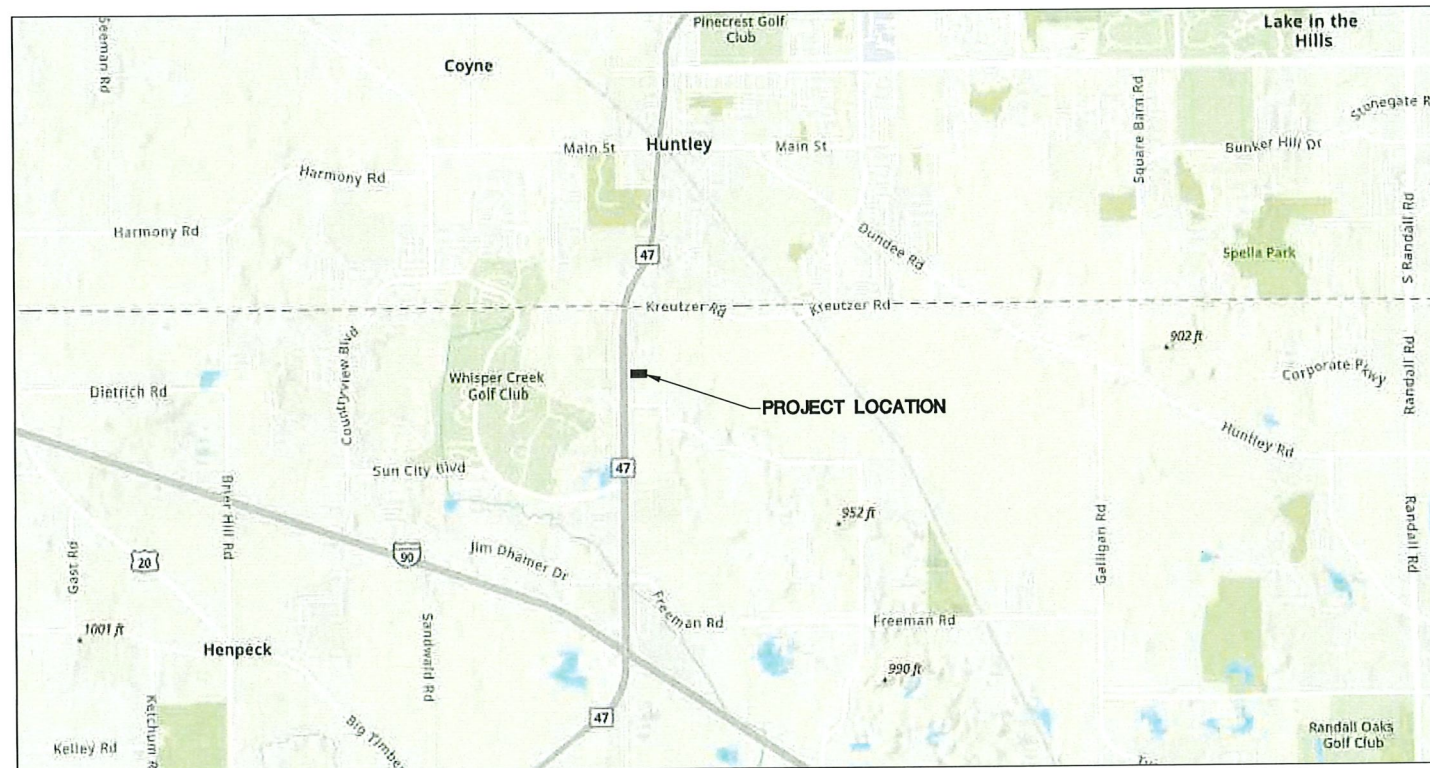
TOMMY'S CAR WASH

LOT 8 - HUNTLEY CROSSING

12440 ROUTE 47

INDEX OF SHEETS

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2. DEMOLITION PLAN
3. SITE PLAN
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6. UTILITY DETAILS
7. GRADING PLAN
8. STORM WATER POLLUTION PREVENTION PLAN
9. VILLAGE OF HUNTLEY APPROVED MATERIALS LIST
10. VILLAGE OF HUNTLEY GENERAL NOTES
11. VILLAGE OF HUNTLEY DETAILS 1
12. VILLAGE OF HUNTLEY DETAILS 2



LOCATION MAP

CONTACTS:

OWNER:
DESIGN RESOURCES GROUP

CIVIL ENGINEER:
SCHEFLOW ENGINEERS
1814 GRANDSTAND PLACE
ELGIN, IL 60123
FRANK C. CUDA, P.E.
PHONE: (847) 697-7095
EMAIL: FCUDA@SCHEFLOWENG.COM



ARCHITECT:
CHRISTIANSON COMPANIES
4609 33RD AVENUE SOUTH
SUITE 400
FARGO, ND 58104
CHRIS MACK
PHONE: (701)281-9500
EMAIL: CM@DRGTEAM.COM



VILLAGE OF HUNTLEY PUBLIC WORKS AND ENGINEERING:

10987 MAIN STREET
HUNTLEY, IL 60142
TIM FARRELL, P.E.
DIRECTOR OF PUBLIC WORKS AND ENGINEERING
PHONE: (847) 515-5222
EMAIL: TFARRELL@HUNTLEY.IL.US

VILLAGE OF HUNTLEY DEVELOPMENT SERVICES DEP:

10987 MAIN STREET
HUNTLEY, IL 60142
CHARLES NORDMAN, AICP
DIRECTOR OF DEVELOPMENT SERVICES
PHONE: (847) 515-5252
EMAIL: CNORDMAN@HUNTLEY.IL.US

BENCHMARKS:

SOURCE BENCHMARK:

VILLAGE OF HUNTLEY BENCHMARK 9
ELEVATION 877.66 (NAVD 88)

SITE BENCHMARKS:

CROSS CUT ON CONCRETE BIKE PATH AT THE SOUTHEAST INTERSECTION IL RT 47 AND REGENCY PARKWAY, APPROX 18' FROM NORTHEAST CORNER OF LOT 7.
ELEVATION 897.45 (NAVD 88)

IRON ROD AT NORTHEAST PROPERTY CORNER OF LOT 8
ELEVATION 899.10 (NAVD 88)

IRON ROD AT SOUTHEAST PROPERTY CORNER OF LOT 8
ELEVATION 901.93 (NAVD 88)

PARCEL INFORMATION:

PARCEL NUMBER:

02-04-151-002

LEGAL DESCRIPTION:

HUNTLEY CROSSINGS, PHASE 2, PLAT 2 - LOT 8

LOT SIZE:

1.430 ACRES



VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

#	DATE	REVISIONS PER VILLAGE REV.
1	2-18-22	

SCHEFLOW
engineers

1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
scheffloweng.com
Firm License No. 184-001104

HUNTLEY

TOMMY'S CAR WASH
12440 ROUTE 47
TITLE SHEET

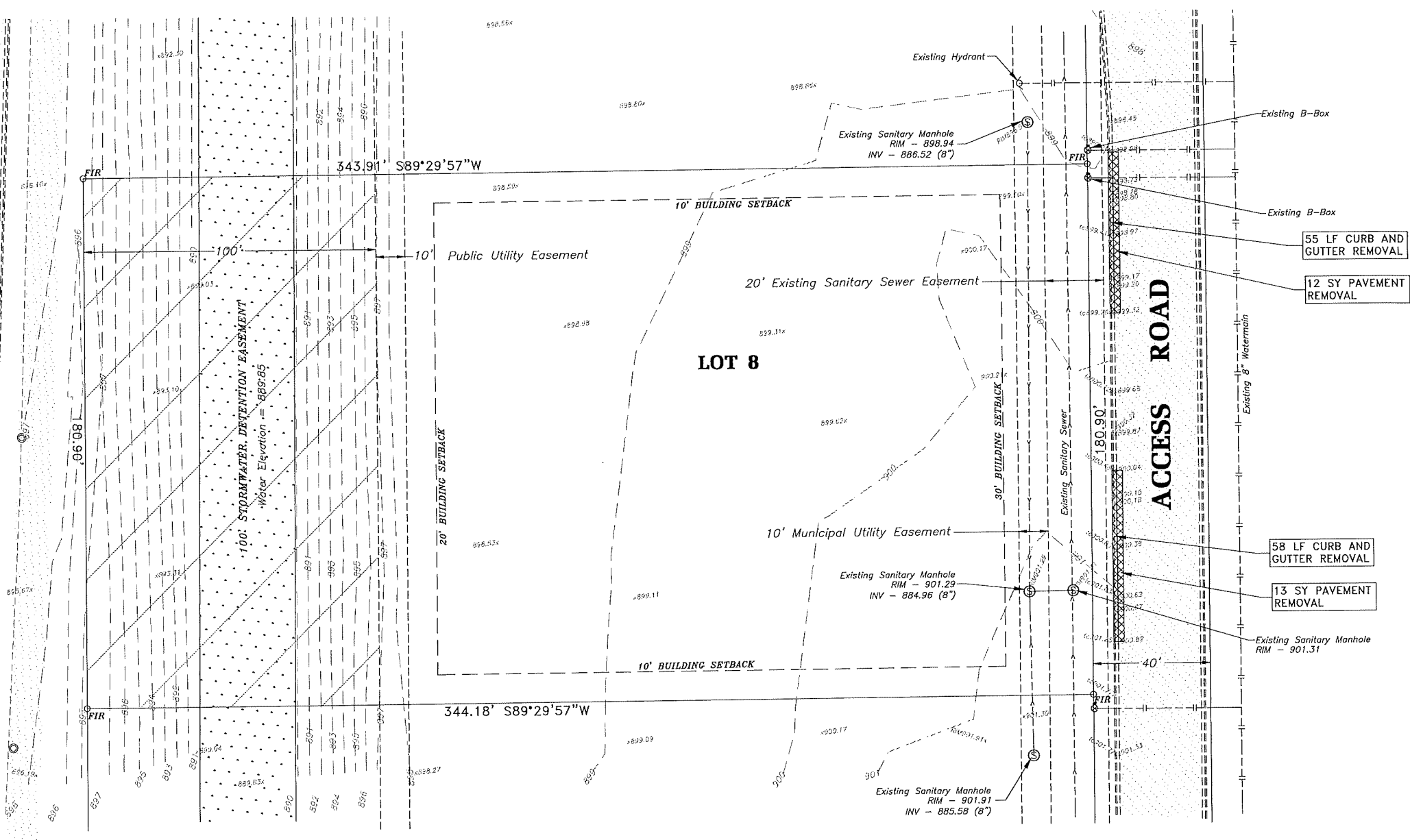
ILLINOIS

SCALE	DATE
NONE	1/24/22
DRAWN BY PCS	JOB NO. 5771
CHECKED BY FCC	SHEET NO. 1 of 12



11/23 2/18/22
DATE DATE
SIGNATURE
Frank C. CUDA

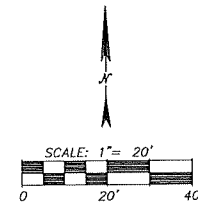
ILLINOIS ROUTE 47



SYMBOL LEGEND

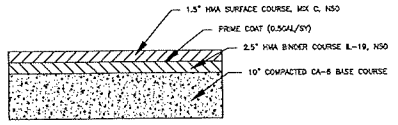
	EXISTING PAVEMENT		REMOVAL
	- SITE BENCHMARK		PROPOSED PAVEMENT
	- BUFFALO BOX		PROPOSED PAVEMENT
	- SANITARY MANHOLE		EXISTING WATER MAIN
	- SURFACE FLOW DIRECTION		EXISTING SANITARY SEWER
	- EXISTING SPOT GRADE		PROPOSED WATER SERVICE
	- PROPOSED SPOT GRADE		PROPOSED STORM SEWER
	- PROPOSED SANITARY MANHOLE		PROPOSED SANITARY SEWER
	- PROPOSED CATCH BASIN CURB CRATE		SILT FENCE
	- PROPOSED CATCH BASIN		PROPOSED CONTOUR
	- PROPOSED CURB AND GUTTER		OVERLAND FLOW ROUTE AND DEPTH
	- PROPOSED REVERSE PITCH CURB AND GUTTER		
	- EXISTING CURB AND GUTTER		

DEMOLITION PLAN

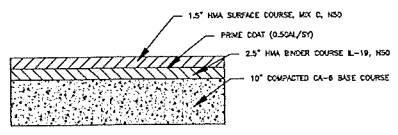


DATE 1/2-18-22	REMARKS PER VILLAGE REV.		1814 GRANDSTAND PLACE ELGIN, ILLINOIS 60123 phone 847.697.7095 fax 847.697.7099 scheffloweng.com Firm License No. 184-001104	HUNTLEY TOMMY'S CAR WASH 12440 ROUTE 47 DEMOLITION PLAN	SCALE 1"=20'	DATE 1/24/22
					DRAWN BY PCS	JOB NO. 5771

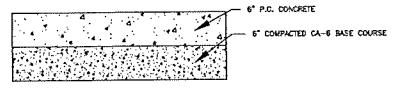
VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS



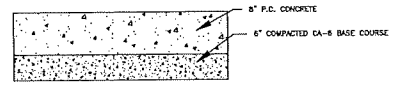
PARKING LOT PAVEMENT DETAIL



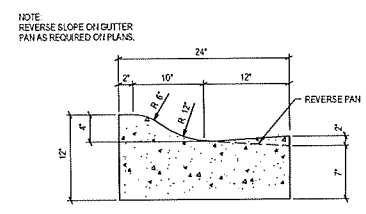
ACCESS ROAD PAVEMENT DETAIL



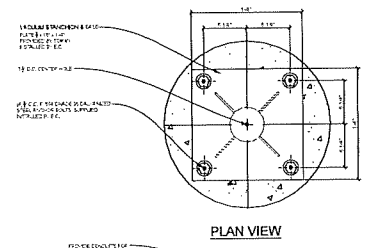
CONCRETE PAVEMENT DETAIL



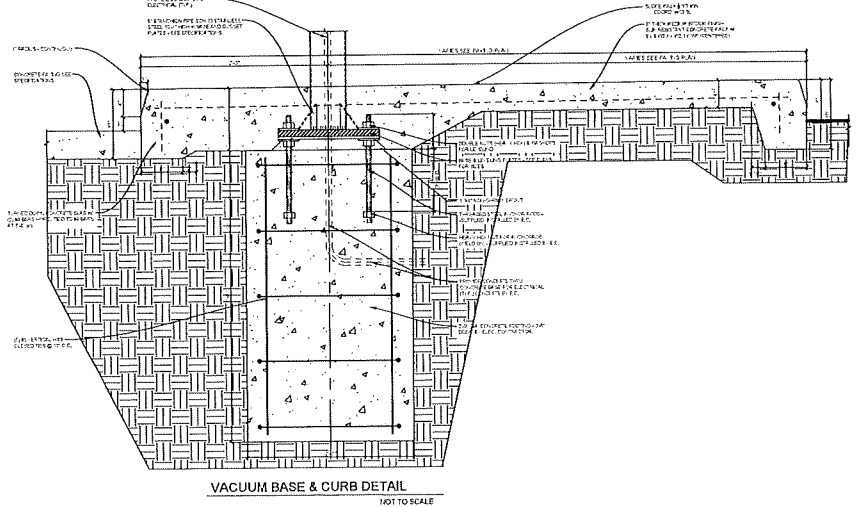
HEAVY DUTY CONCRETE PAVEMENT DETAIL



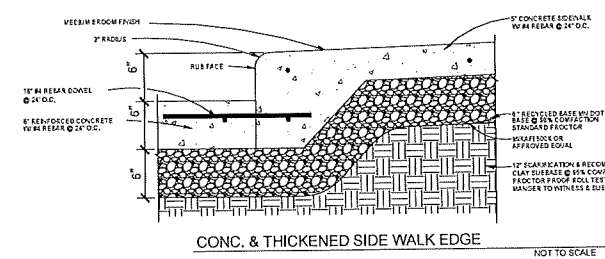
MOUNTABLE CURB DETAIL
NOT TO SCALE



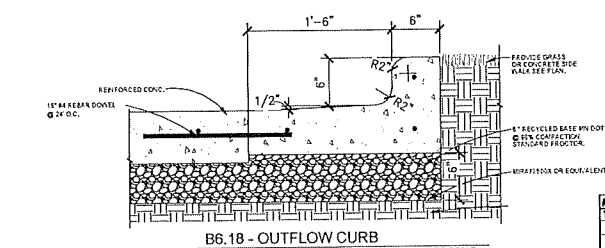
PLAN VIEW



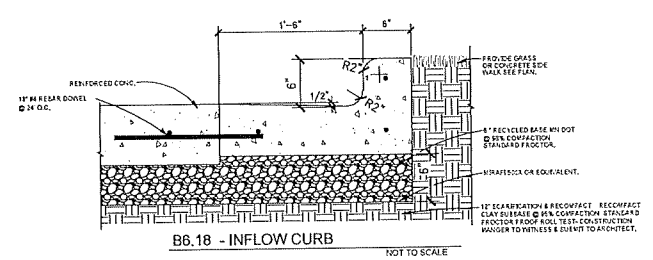
VACUUM BASE & CURB DETAIL
NOT TO SCALE



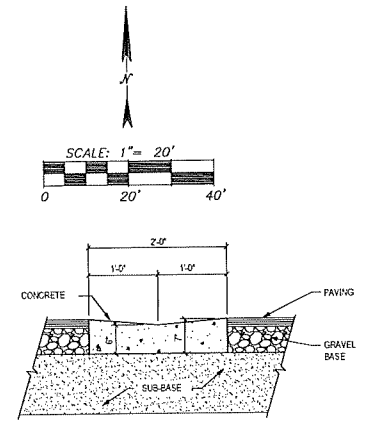
CONC. & THICKENED SIDE WALK EDGE
NOT TO SCALE



B6.18 - OUTFLOW CURB
NOT TO SCALE

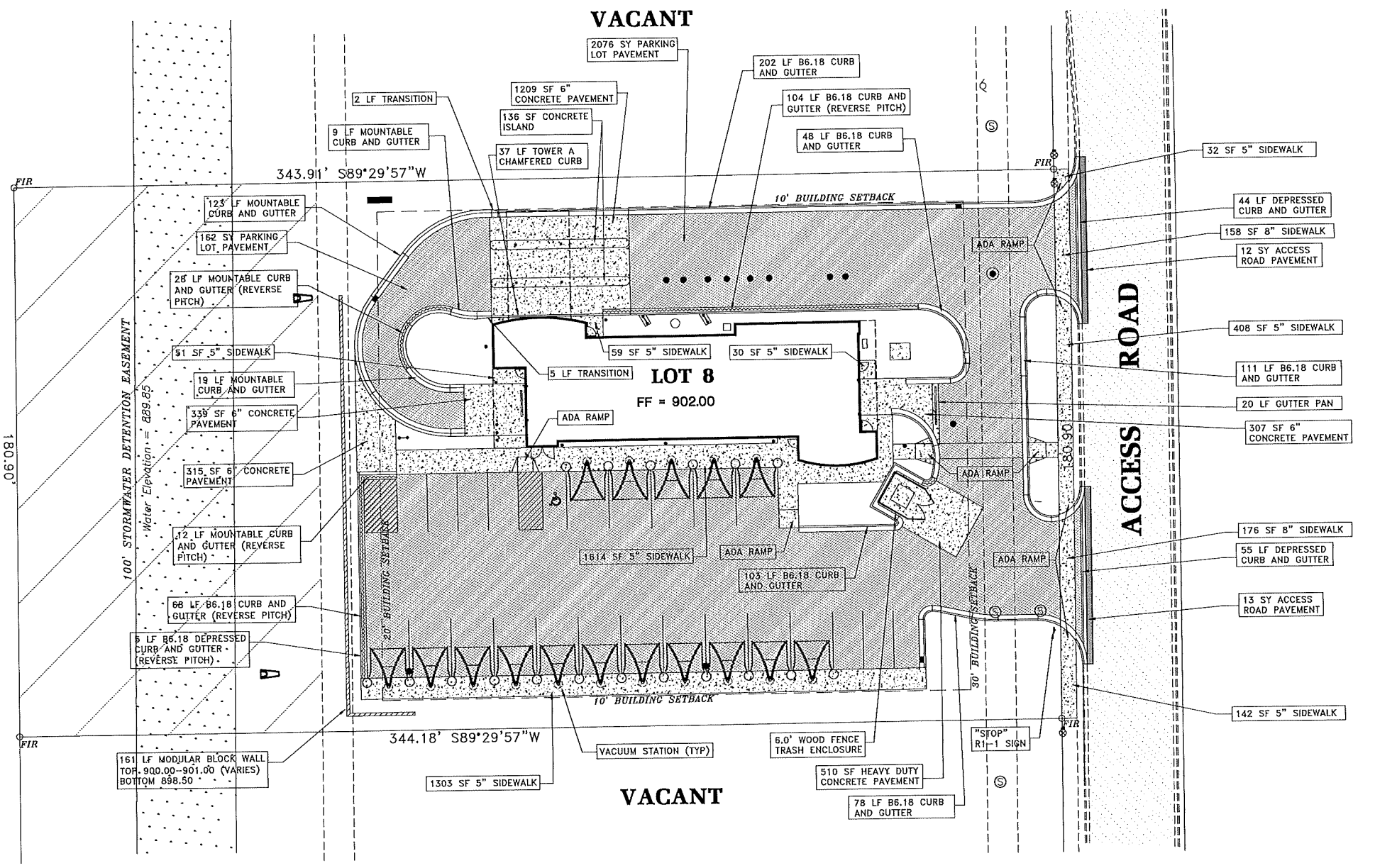


B6.18 - INFLOW CURB
NOT TO SCALE

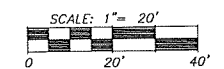


TYPICAL GUTTER PAN DETAIL
NOT TO SCALE

ILLINOIS ROUTE 47



SITE PLAN



DATE	REMARKS
1-2-18-22	PER VILLAGE REV.

SCHEFLOW
engineers

1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
scheffloweng.com
Firm License No. 184-001104

HUNTLEY

TOMMY'S CAR WASH
12440 ROUTE 47

SITE PLAN

ILLINOIS

SCALE: 1"=20'

DATE: 1/24/22

DRAWN BY: PCS

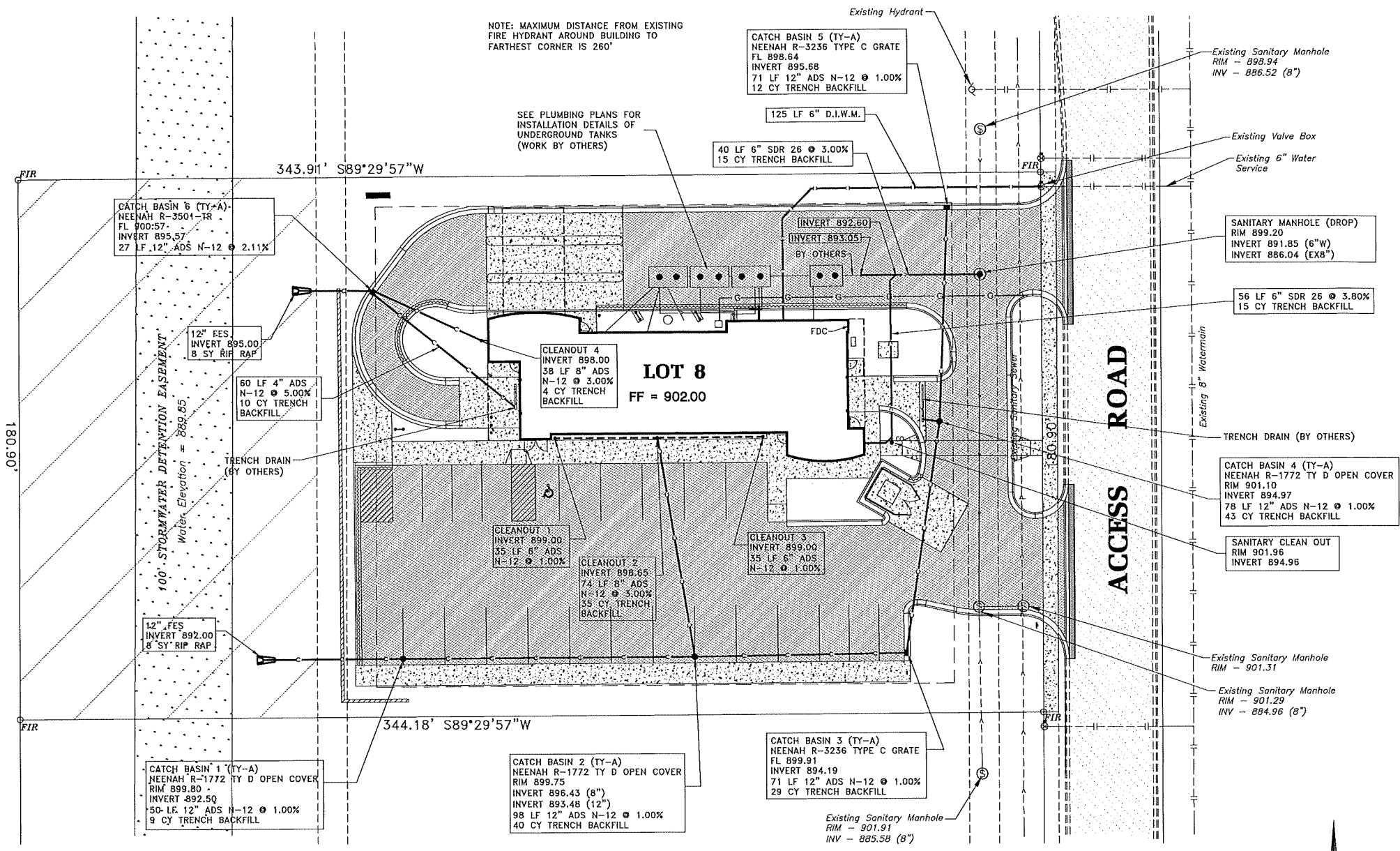
CHECKED BY: FCC

JOB NO.: 5771

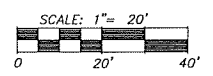
SHEET NO.: 3 of 12

VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

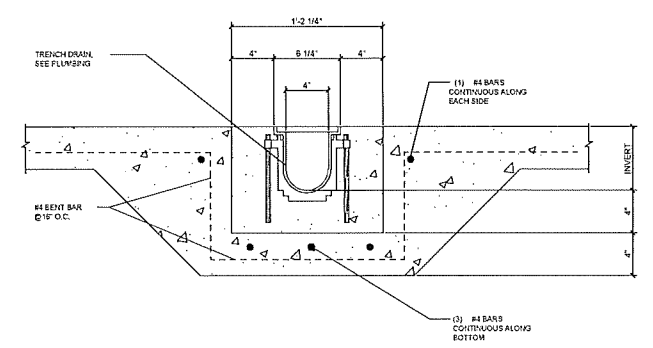
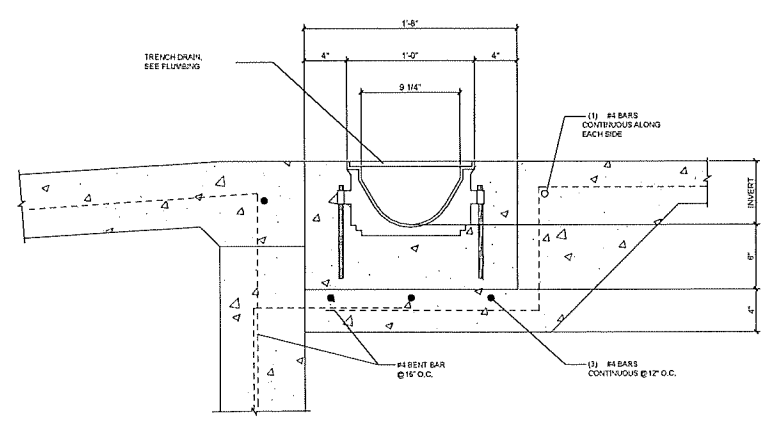
ILLINOIS ROUTE 47



UTILITY PLAN



NOTE:
ALL DIMENSIONS ARE TO BE VERIFIED WITH ACTUAL MANUFACTURER OF TRENCH DRAIN



SYMBOL LEGEND

	EXISTING PAVEMENT		REMOVAL
	SITE BENCHMARK		PROPOSED PAVEMENT
	BUFFALO BOX		PROPOSED PAVEMENT
	SANITARY MANHOLE		EXISTING WATER MAIN
	SURFACE FLOW DIRECTION		EXISTING SANITARY SEWER
	EXISTING SPOT GRADE		PROPOSED WATER SERVICE
	PROPOSED SPOT GRADE		PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE		PROPOSED SANITARY SEWER
	PROPOSED CATCH BASIN CURB GRATE		SILT FENCE
	PROPOSED CATCH BASIN		PROPOSED CONTOUR
	PROPOSED CURB AND GUTTER		OVERLAND FLOW ROUTE AND DEPTH
	PROPOSED REVERSE PITCH CURB AND GUTTER		
	EXISTING CURB AND GUTTER		

VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

DATE	REMARKS
12-18-22	PER VILLAGE REV.

SCHEFLOW
engineers

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fax 847.697.7099
schefloweng.com
Firm License No. 184-001104

HUNTLEY
TOMMY'S CAR WASH
12440 ROUTE 47
UTILITY PLAN

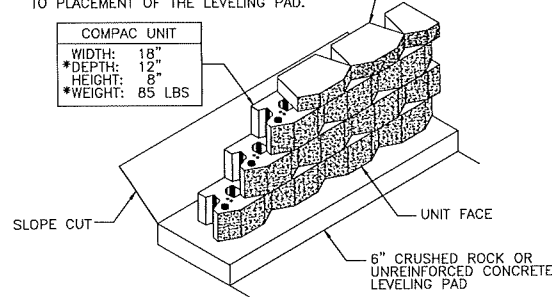
ILLINOIS
SCALE 1"=20'
DATE 1/24/22
DRAWN BY PCS
JOB NO. 5771
CHECKED BY FCC
SHEET NO. 5 of 12

BASE LEVELING PAD NOTES:

1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI± UNREINFORCED CONCRETE.
2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.

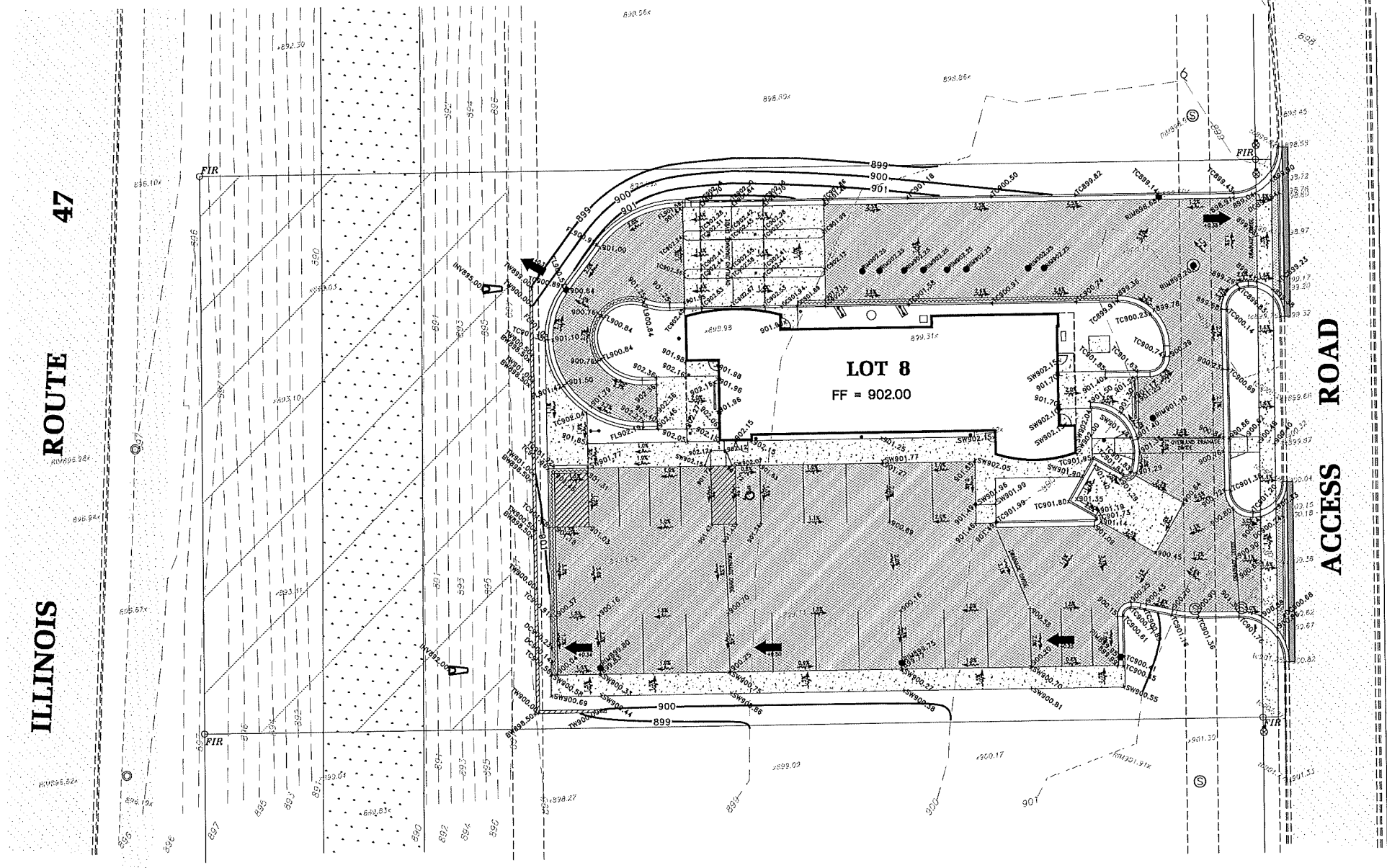
MINI CAP UNIT	
*WIDTH:	18"
*DEPTH:	10"
*HEIGHT:	4"
*WEIGHT:	45 LBS

COMPAC UNIT	
*WIDTH:	18"
*DEPTH:	12"
*HEIGHT:	8"
*WEIGHT:	85 LBS



*DIMENSIONS & WEIGHT MAY VARY BY REGION
GEOGRID DISTANCE FROM BACK SIDE OF WALL IS 6"

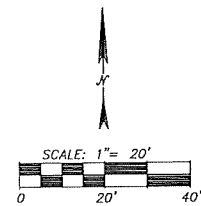
**COMPAC UNIT/BASE PAD ISOMETRIC VIEW
RETAINING WALL**



SYMBOL LEGEND

	EXISTING PAVEMENT		REMOVAL
	- SITE BENCHMARK		PROPOSED PAVEMENT
	- BUFFALO BOX		PROPOSED PAVEMENT
	- SANITARY MANHOLE		EXISTING WATER MAIN
	- SURFACE FLOW DIRECTION		EXISTING SANITARY SEWER
	EXISTING SPOT GRADE		PROPOSED WATER SERVICE
	PROPOSED SPOT GRADE		PROPOSED STORM SEWER
	PROPOSED SANITARY MANHOLE		PROPOSED SANITARY SEWER
	PROPOSED CATCH BASIN CURB GRATE		SILT FENCE
	PROPOSED CATCH BASIN		PROPOSED CONTOUR
	PROPOSED CURB AND GUTTER		OVERLAND FLOW ROUTE AND DEPTH
	PROPOSED REVERSE PITCH CURB AND GUTTER		
	EXISTING CURB AND GUTTER		

GRADING PLAN



#	DATE	REMARKS
1	2-18-22	PER VILLAGE REV.



1814 GRANDSTAND PLACE
ELGIN, ILLINOIS 60123
phone 847.697.7095
fax 847.697.7099
scheffloweng.com
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HUNTLEY

TOMMY'S CAR WASH
12440 ROUTE 47
GRADING PLAN

SCALE	DATE
1"=20'	1/24/22
DRAN BY	JOB NO.
PCS	5771
CHECKED BY	SHEET NO.
FCC	7 of 12

EXTERIOR MATERIALS LEGEND

- BRICK MASONRY - FIELD
- BRICK MASONRY - FIELD SOLDIER
- BRICK MASONRY - BASE
- BRICK MASONRY - BASE SOLDIER
- PREFINISHED METAL COPING
- GLAZING
- PREFINISHED METAL PANELS (RED)
- PREFINISHED METAL PANELS (BLACK)

NOTE:
REFER TO SIGNAGE PACKAGE FOR EXACT LOCATIONS
AND SIZES OF BUILDING SIGNAGE

DATE:	02/12/22
PROJECT NO:	21-559
DRAWN BY:	EK
CHECKED BY:	MK
REVISIONS:	

TOMMY CAR WASH SYSTEMS
12440 ROUTE 47
HUNTLEY, IL

**NOT FOR
CONSTRUCTION**

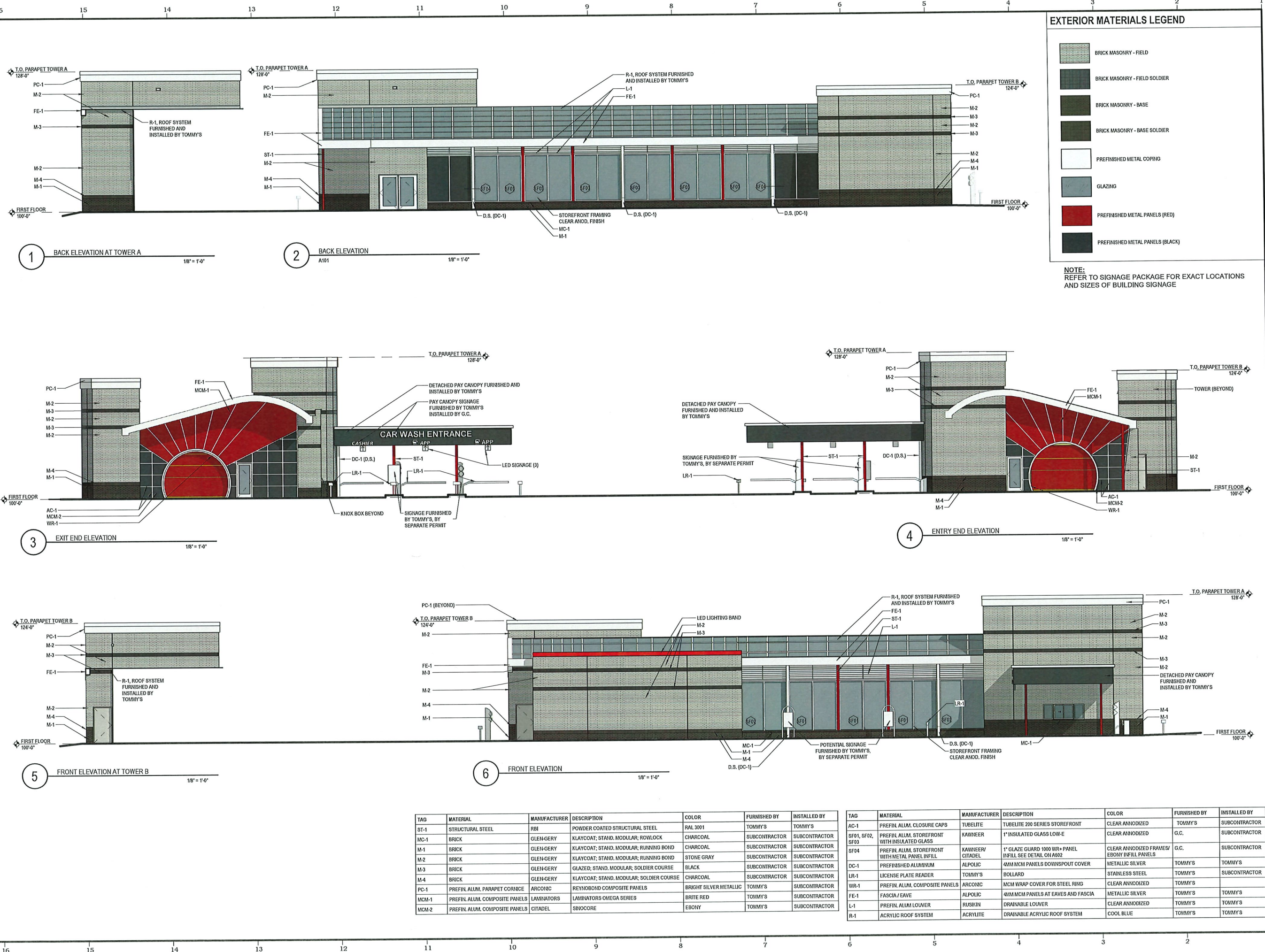


PH. (701) 281-9500
FAX (701) 281-9501
4609 33RD AVE. S.
SUITE 400
FARGO, ND 58104



SHEET DESCRIPTION:
PRESENTATION ELEVATIONS

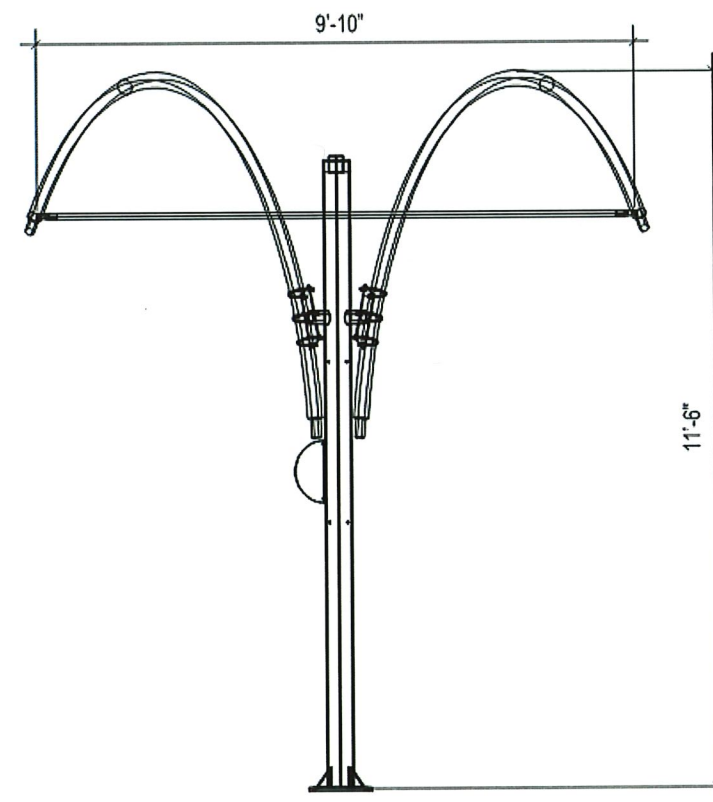
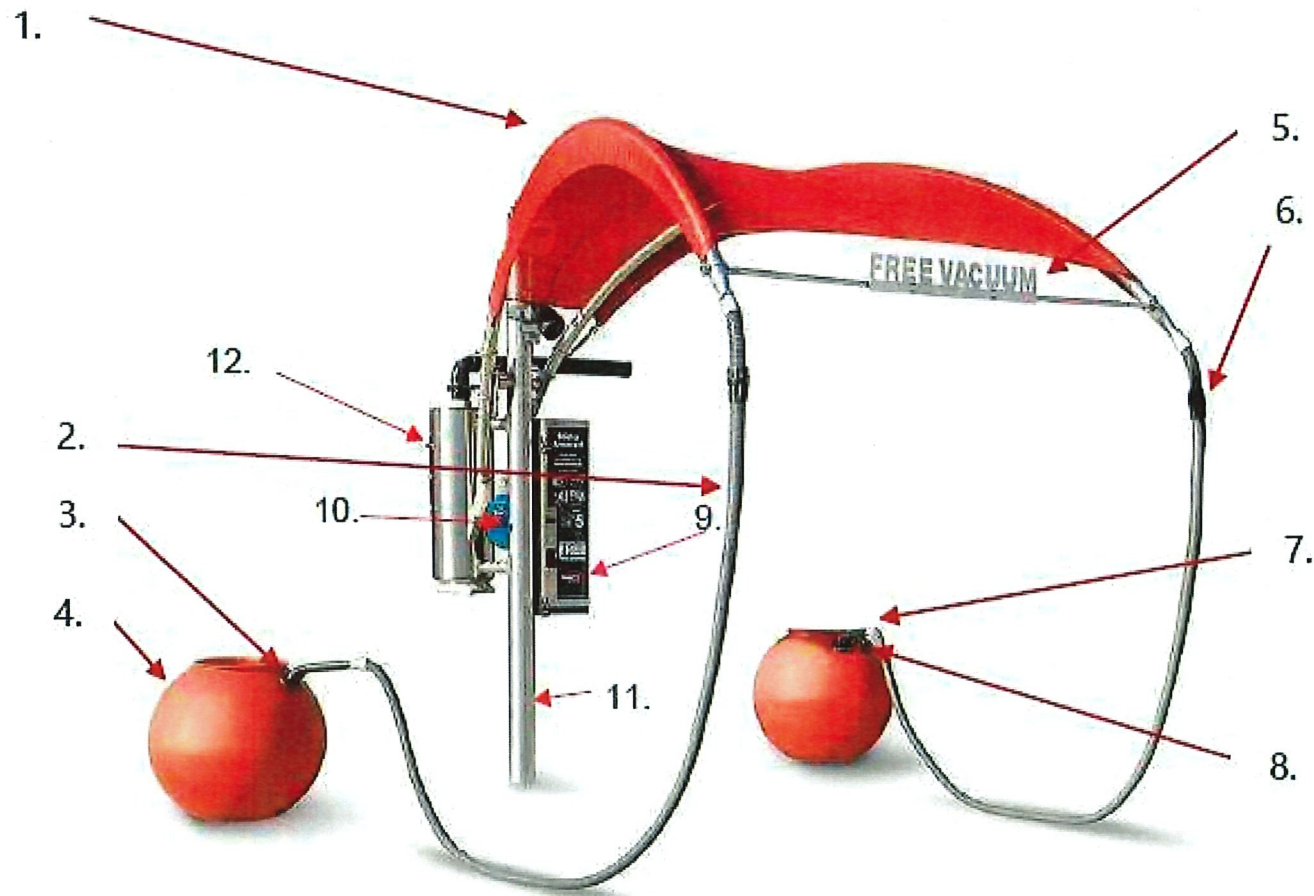
Sheet
A201



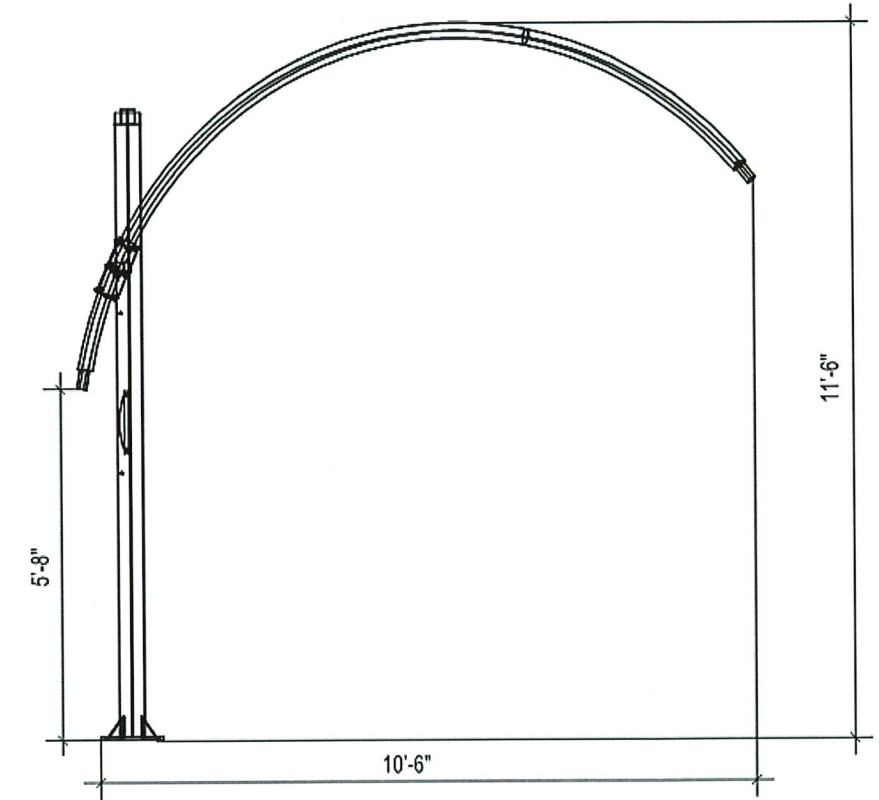
TAG	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	FURNISHED BY	INSTALLED BY
ST-1	STRUCTURAL STEEL	RBI	POWDER COATED STRUCTURAL STEEL	RAL 3001	TOMMY'S	TOMMY'S
MC-1	BRICK	GLEN-GERY	KLAYCOAT, STAND, MODULAR, ROWLOCK	CHARCOAL	SUBCONTRACTOR	SUBCONTRACTOR
M-1	BRICK	GLEN-GERY	KLAYCOAT, STAND, MODULAR, RUNNING BOND	CHARCOAL	SUBCONTRACTOR	SUBCONTRACTOR
M-2	BRICK	GLEN-GERY	KLAYCOAT, STAND, MODULAR, RUNNING BOND	STONE GRAY	SUBCONTRACTOR	SUBCONTRACTOR
M-3	BRICK	GLEN-GERY	GLAZED, STAND, MODULAR, SOLDIER COURSE	BLACK	SUBCONTRACTOR	SUBCONTRACTOR
M-4	BRICK	GLEN-GERY	KLAYCOAT, STAND, MODULAR, SOLDIER COURSE	CHARCOAL	SUBCONTRACTOR	SUBCONTRACTOR
PC-1	PREFIN. ALUM. PARAPET CORNICE	ARCONIC	REYNOLDBOND COMPOSITE PANELS	BRIGHT SILVER METALLIC	TOMMY'S	SUBCONTRACTOR
MCM-1	PREFIN. ALUM. COMPOSITE PANELS	LAMINATORS	LAMINATORS OMEGA SERIES	BRITE RED	TOMMY'S	SUBCONTRACTOR
MCM-2	PREFIN. ALUM. COMPOSITE PANELS	CITADEL	SINOCORE	EBONY	TOMMY'S	SUBCONTRACTOR

TAG	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	FURNISHED BY	INSTALLED BY
AC-1	PREFIN. ALUM. CLOSURE CAPS	TUBELITE	TUBELITE 200 SERIES STOREFRONT	CLEAR ANNOXIDIZED	TOMMY'S	SUBCONTRACTOR
SF01, SF02, SF03	PREFIN. ALUM. STOREFRONT WITH INSULATED GLASS	KAWNEER	1" INSULATED GLASS LOW-E	CLEAR ANNOXIDIZED	G.C.	SUBCONTRACTOR
SF04	PREFIN. ALUM. STOREFRONT WITH METAL PANEL INFILL	KAWNEER/CITADEL	1" GLAZE GUARD 1000 WR-PANEL INFILL SEE DETAIL ON A802	CLEAR ANNOXIDIZED FRAMES/ EBONY INFILL PANELS	G.C.	SUBCONTRACTOR
DC-1	PREFINISHED ALUMINUM	ALPOLIC	4MM MCM PANELS DOWNSPOUT COVER	METALLIC SILVER	TOMMY'S	TOMMY'S
LR-1	LICENSE PLATE READER	TOMMY'S	BOLLARD	STAINLESS STEEL	TOMMY'S	SUBCONTRACTOR
WR-1	PREFIN. ALUM. COMPOSITE PANELS	ARCONIC	MCM WRAP COVER FOR STEEL RING	CLEAR ANNOXIDIZED	TOMMY'S	SUBCONTRACTOR
FE-1	FASCIA / EAVE	ALPOLIC	4MM MCM PANELS AT EAVES AND FASCIA	METALLIC SILVER	TOMMY'S	TOMMY'S
L-1	PREFIN. ALUM. LOWER	RUSKIN	DRAINABLE LOUVER	CLEAR ANNOXIDIZED	TOMMY'S	TOMMY'S
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	DRAINABLE ACRYLIC ROOF SYSTEM	COOL BLUE	TOMMY'S	TOMMY'S

VACUUM ELEVATIONS



FRONT ELEVATION



SIDE ELEVATION

P3073 Huntley, IL



Sign Detail Package



VALLEY CITY
SIGN

5009 West River Drive | Comstock Park, MI 49321 | Ph 616.784.5711 | Fx 616.784.8280 | www.valleycitysign.com



Location Map:
12440 Route 47
Huntley, IL 60142



5009 West River Drive
 Comstock Park, MI 49321
 Ph 616.784.5711 | Fx 616.784.8280
www.valleycitysign.com

The designs, details and plans represented herein are the property of Valley City Sign; specifically developed for your personal use in connection with the project being planned for you by Valley City Sign. They are not to be shown to anyone outside of your organization, nor are they to be used, reproduced, exhibited or copied in any fashion whatsoever.

CUSTOMER INFO
Tommy's Express Car Wash
ACCOUNT
12440 Route 47
ADDRESS
February 18th, 2022
INITIAL PROPOSAL DATE

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois

Primary Site Signage

RESPONSIBILITIES

General Contractor

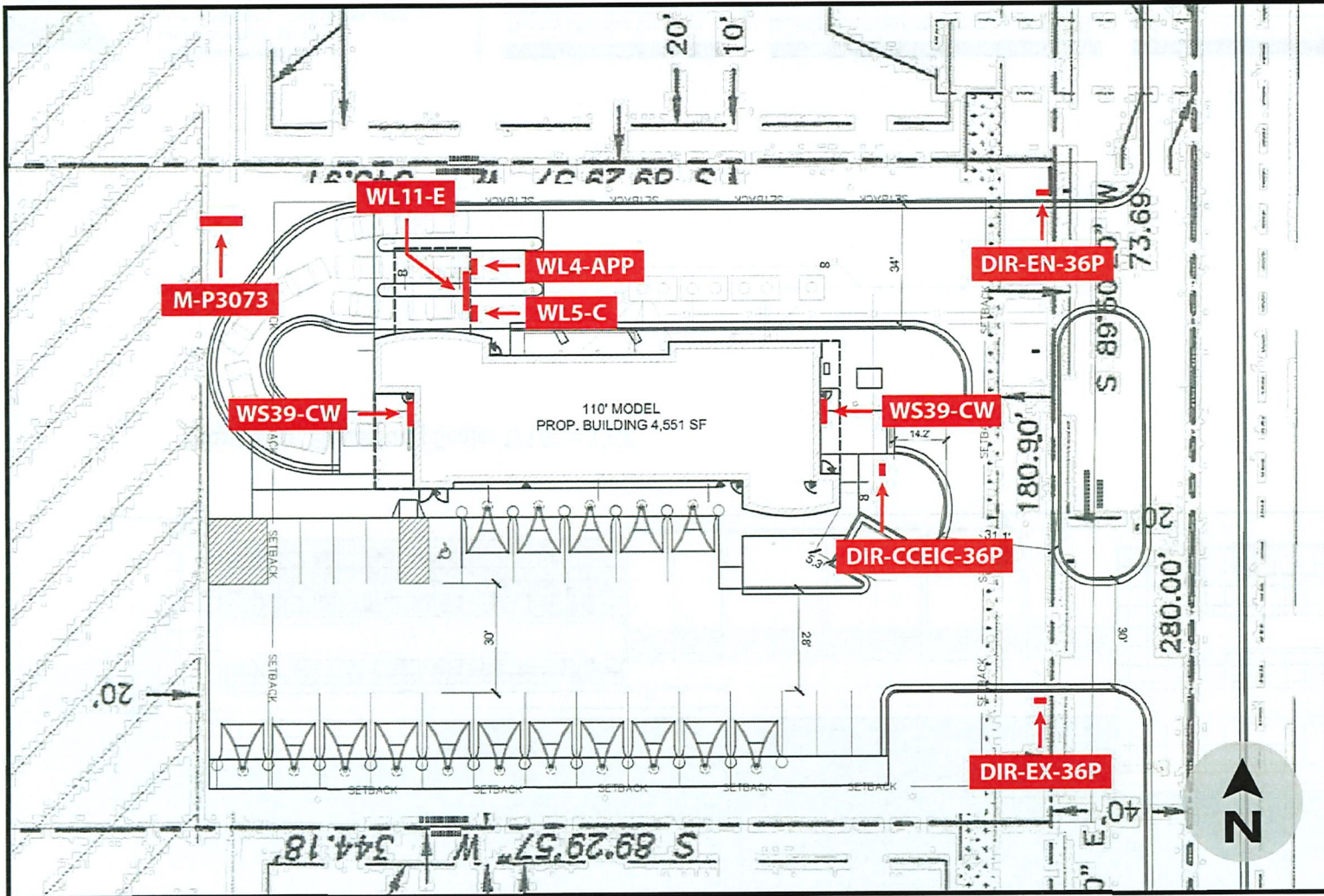
M-P3073:
DIR-EN-36P:
DIR-EX-36P:
 Property line staking
 Masonry

Electrical Contractor

M-P3073:
WS39-CW (2):
WL11-E:
WL5-C:
WL4-APP:
 Electrical Service

*** Note ***

Please reference architectural plans for required installation detail.



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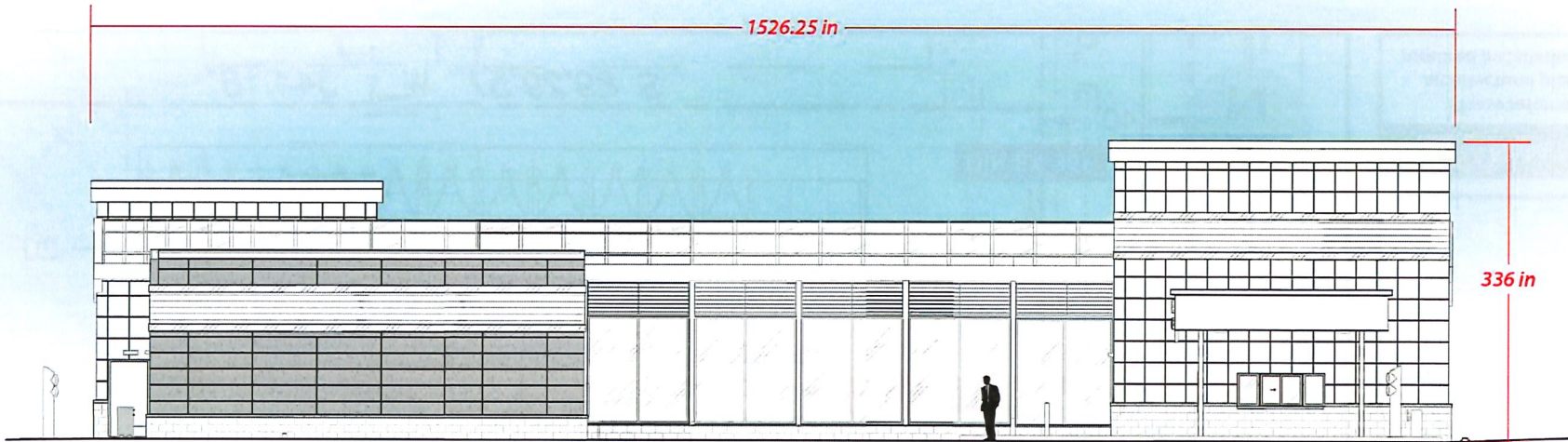
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K --	
L --	

SITE#
P3073
 Huntley,
 Illinois



Front Side Elevation | Scale: 1/16" = 1'-0"



5009 West River Drive
 Comstock Park, MI 49321
 Ph 616.784.5711 | Fx 616.784.8280
www.valleycitysign.com

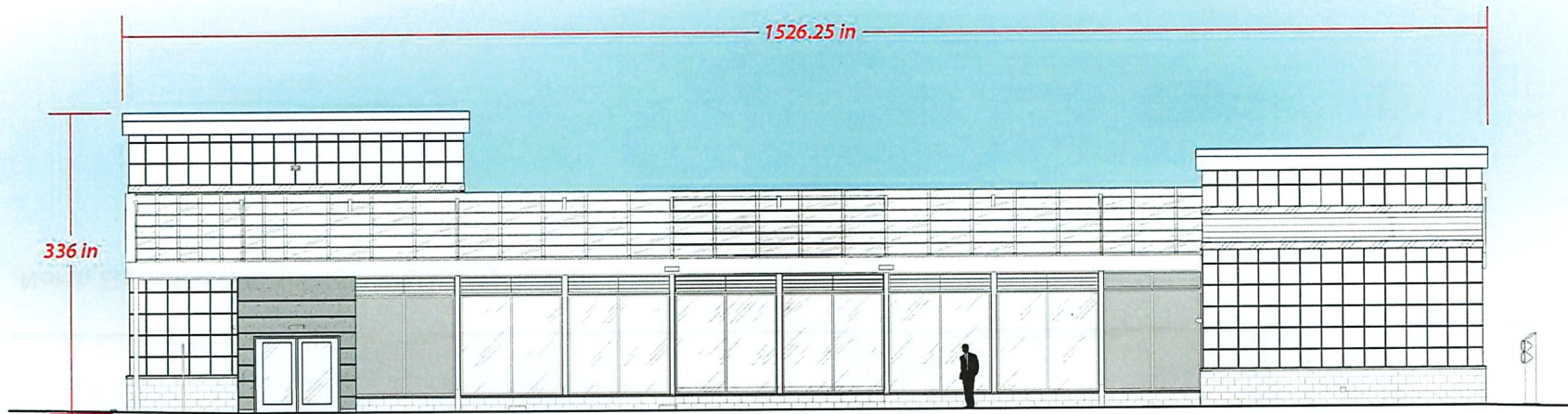
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SITE#
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 Huntley,
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Back Side Elevation | Scale: 1/16" = 1'-0"



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 Comstock Park, MI 49321
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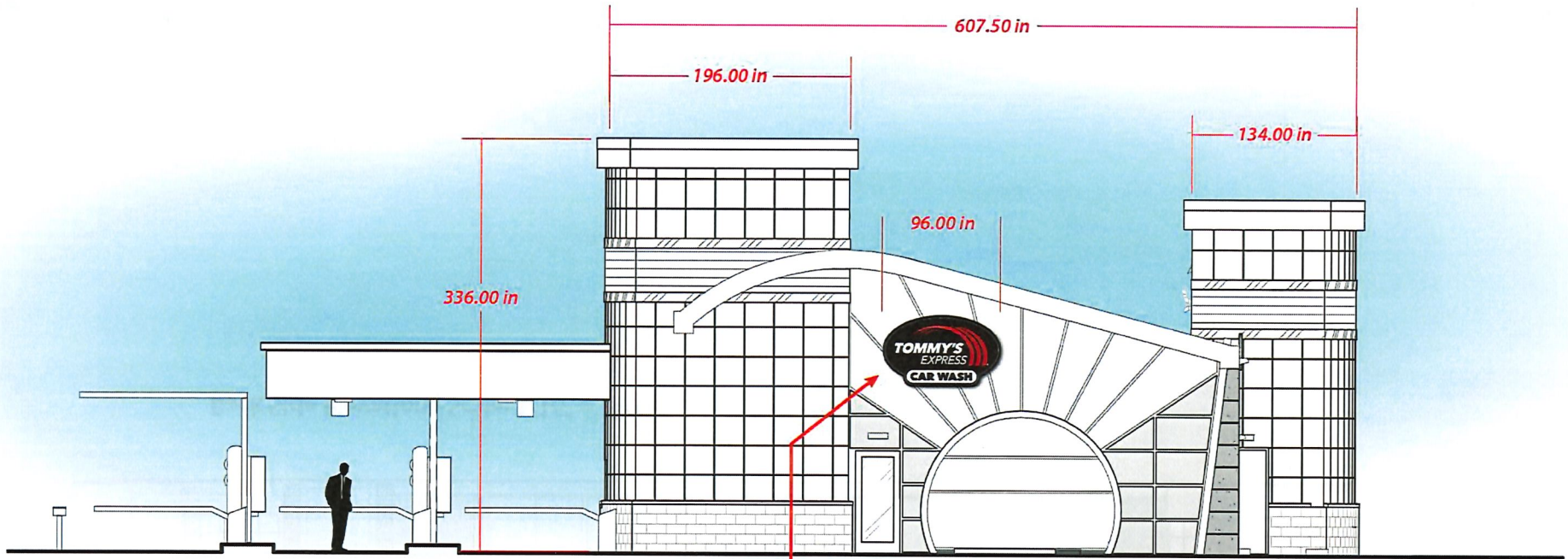
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L --	

SITE#
P3073
 Huntley,
 Illinois



North Elevation (Entry End) | Scale: 3/32" = 1'-0"

WS39-CW



5009 West River Drive
 Comstock Park, MI 49321
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www.valleycitysign.com

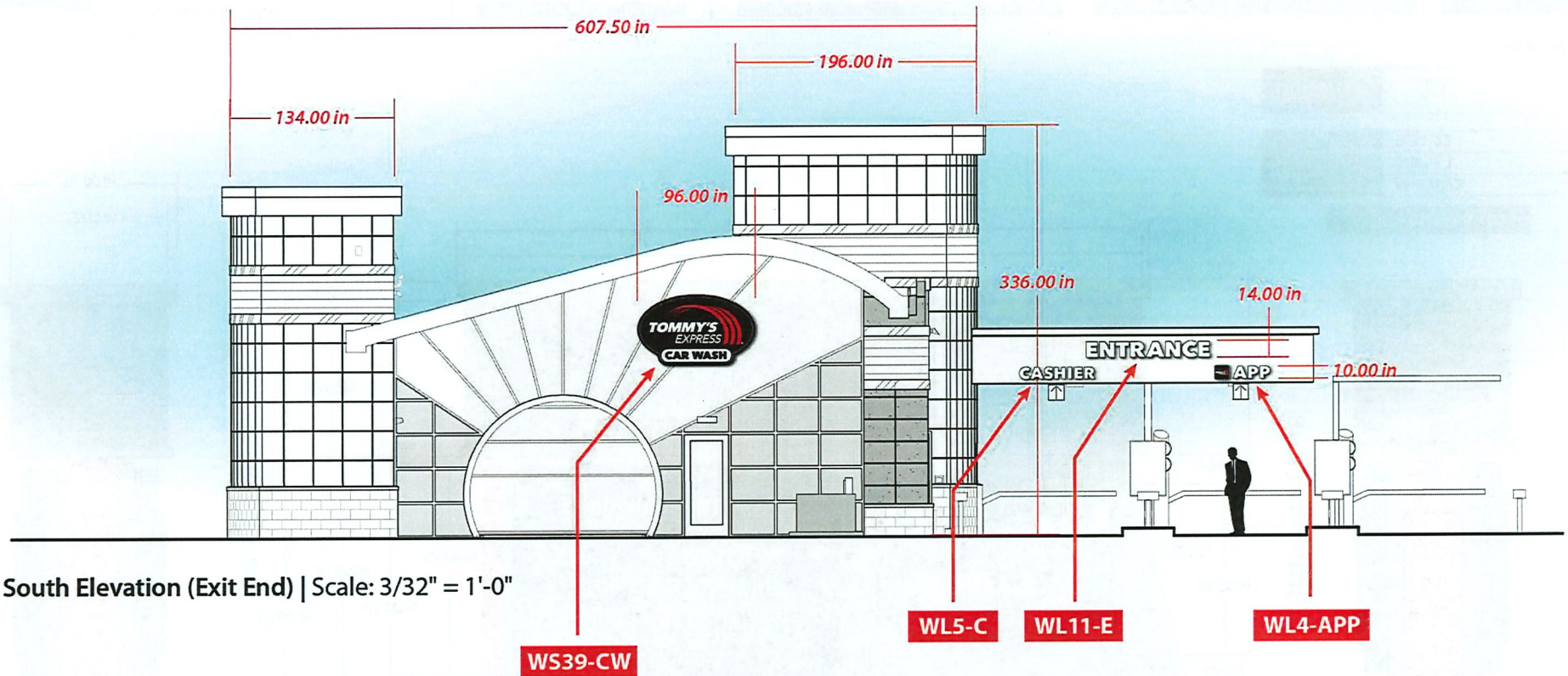
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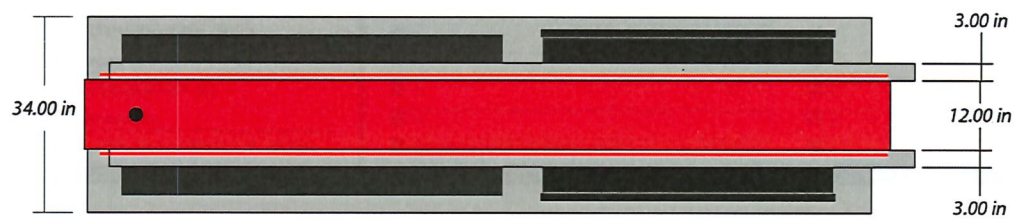
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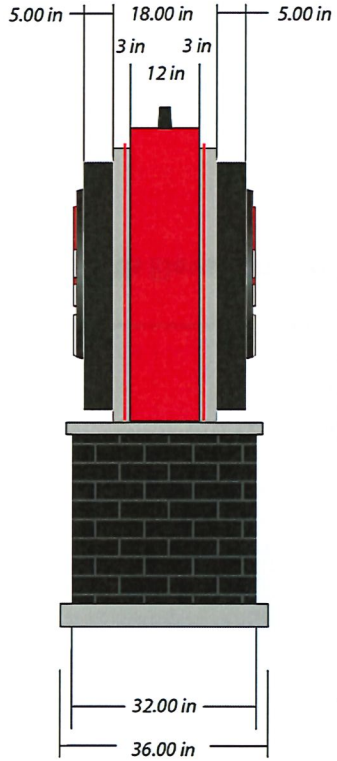
SITE#
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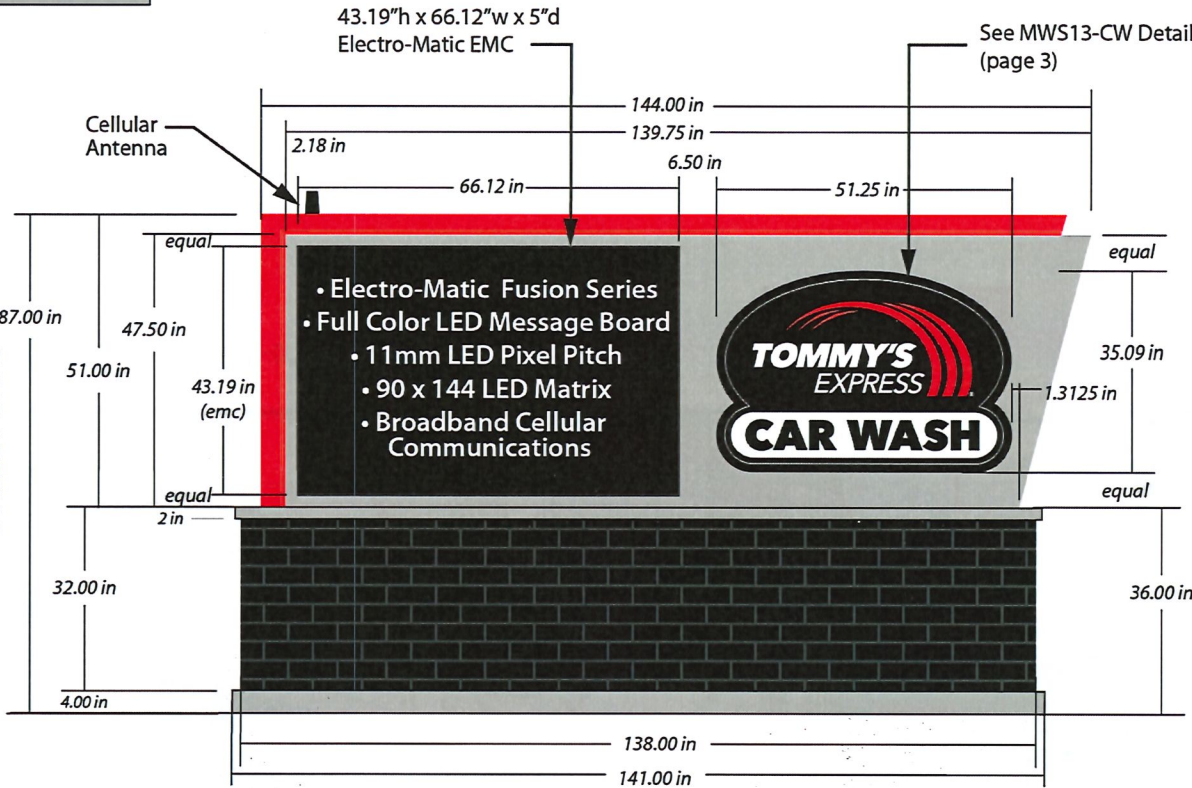
Side B



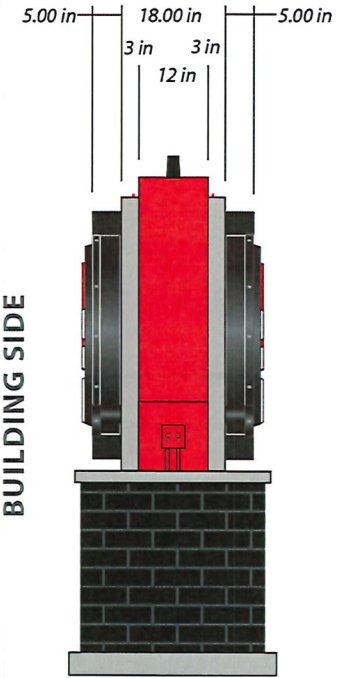
See Details
(pages 2 & 3)



STREET SIDE



BUILDING SIDE



MONUMENT SIGN

SIGN CODE:	M-P3073
SCALE:	3/8" = 1'
DATE:	2.21.22

QUANTITY:	1
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5009 West River Drive
 Comstock Park, MI 49321
 Ph 616.784.5711 | Fx 616.784.8280
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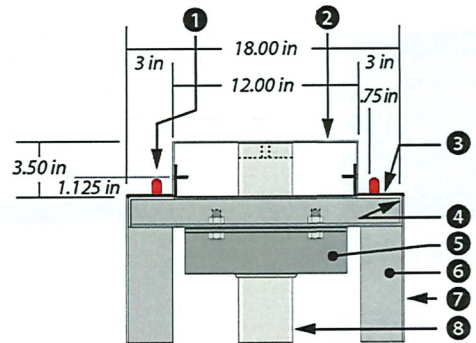
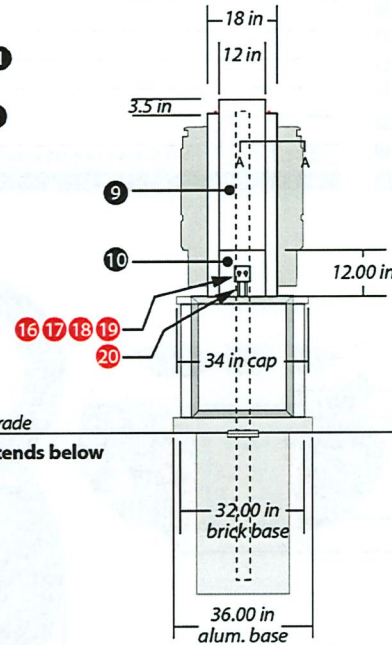
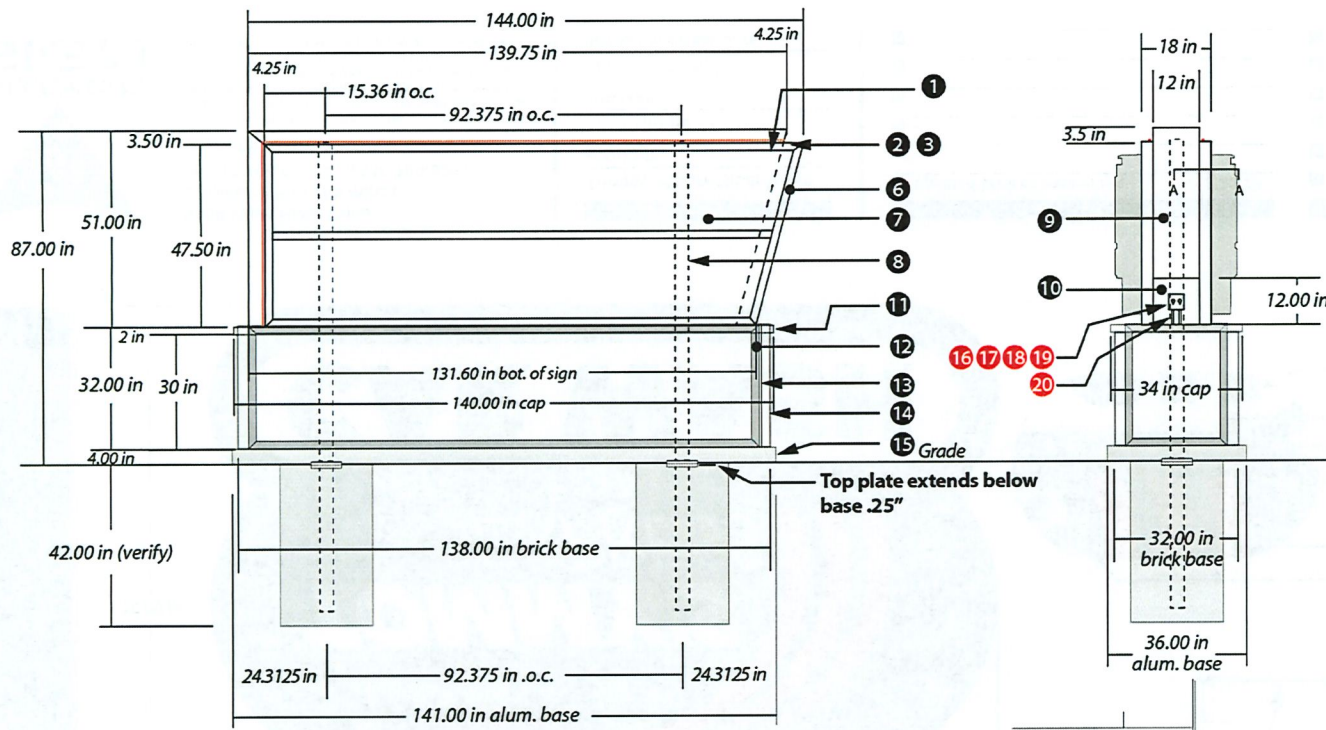
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P3073
 Huntley,
 Illinois

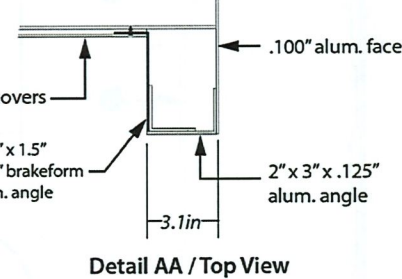
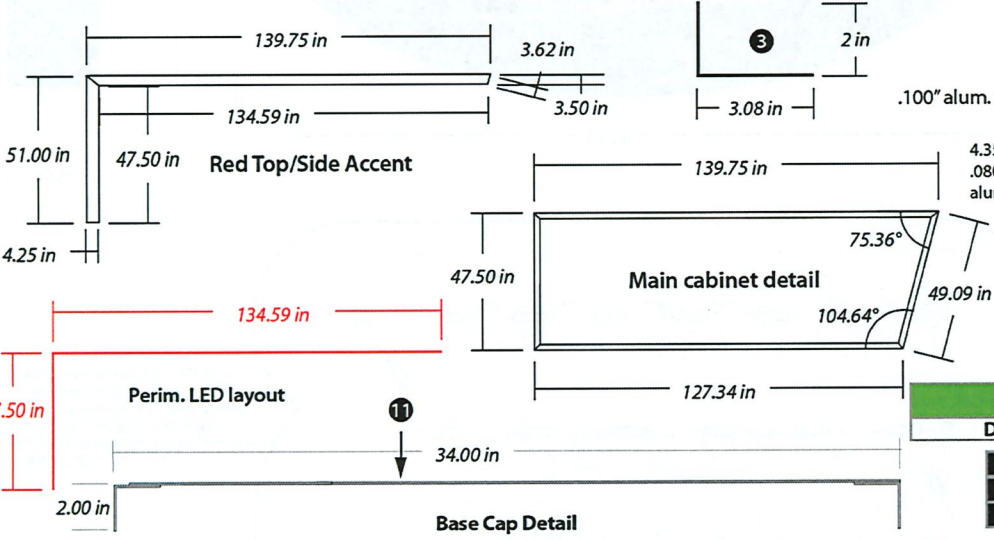


MONUMENT SIGN

ITEM	CONSTRUCTION
1	MORGAN-HOPE RED LED PERIMETER LIGHTING
2	.100" BRAKEFORM TOP AND SIDE ACCENT
3	3.08" x 2" - .080" ALUM. BRAKEFORM ANGLE
4	2" x 3" x .125" ALUM. ANGLE
5	STEEL ANGLE CONNECTION
6	2" x 3" x .125" ALUM. ANGLE
7	.100" FACES
8	3.5" x 3.5" x .375" x 83.5" INTERNAL ST. SUPPORTS W/8" x 10" x .75" ST. MATCH PLATES 2x - 38" STUBS W/MATCH PLATES REQ. WELD BOLTS TO BOTTOM PLATE POINTING UP
9	34"H - .100" ALUM. #10 x 1" PHILLIPS C.S. SCREW / BLUE LOCTITE
10	12"H - .100" ALUM. RIVET AFTER PAINT
11	2"H x 140"W x 34" DEEP CAP 2" x 2" x .125" ALUM. ANGLE FRAME .080" ALUM. SHEETING
12	2" x 2" x .1875" ALUM. ANGLE
13	.50" CEMENT BOARD
14	BLACK BRICK VENEER TBD, VENEER TO BE SUPPLIED BY THE GC
15	4"h x 141"W x 36" DEEP -.100" BRKFRM ALUM. BASE

CABINET PAINT COLORS	
	MAP MP99606N RED (SEMI-GLOSS)
	MAP MP 33172 SILV. SURFER MET. (SEMI-GLOSS)

ITEM	ELECTRICAL: 120v
16	3-GANG WEATHERPROOF BOX (EL-BOX-5390-0)
17	3-GANG WEATHERPROOF COVER (EL-COVER-30499)
18	3x - 20A SWITCHES (CS120-2) 1x - SWITCH PER EMC UNIT 1x - SWITCH FOR PERIM. LIGHTING & ILLUM. CABS.
19	3/4" INCH ZINC DIE CAST NIPPLE (EL-NIP-REGAL-792)
20	3x - 120V / 20A CIRCUITS BY GC (1) .75" CONDUIT TO SIGN LOC, SUPPLIED BY GC GROUNDING ROD BY INSTALLER



INSTALLATION	
DIR. BURY TBD	
SIGN CODE:	M-P3073
SCALE:	1/4" = 1'
DATE:	2.21.22



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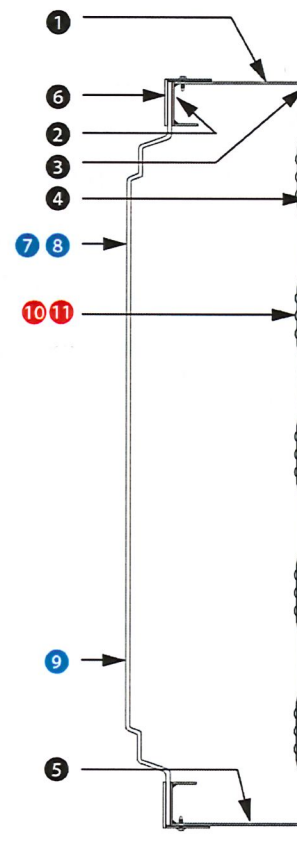
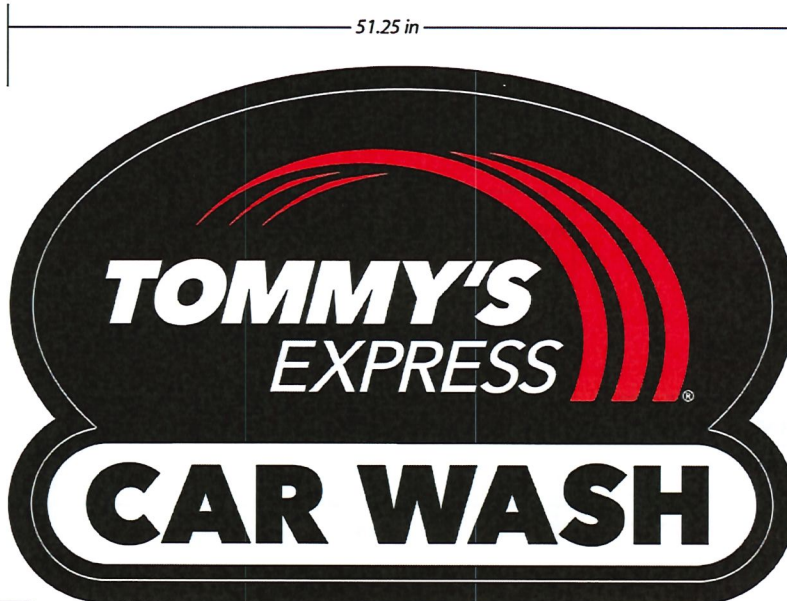
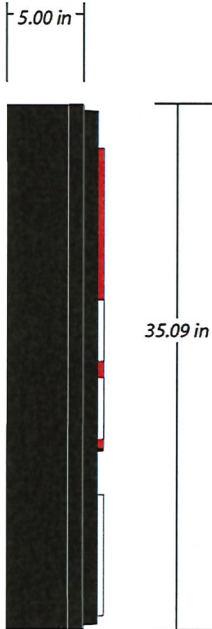
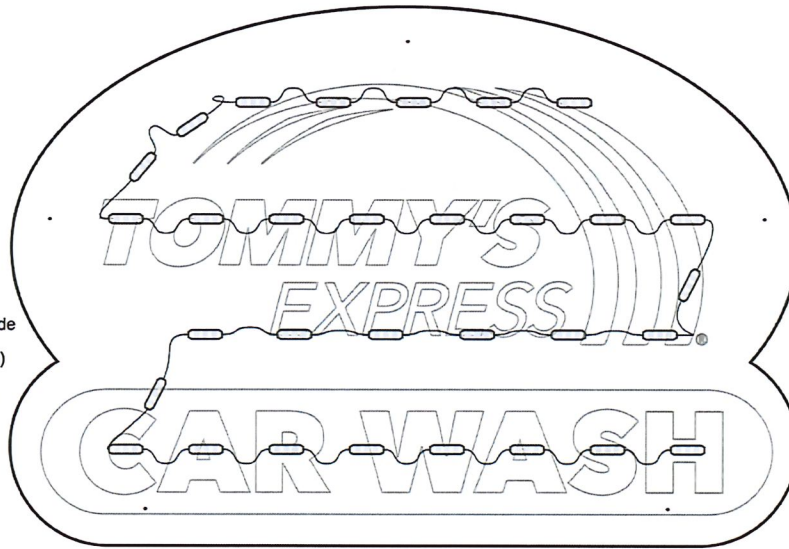
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois

Load: 37.2% per side
 Modules: 31 White WoW per side
 Watts: 22.3 of 60.0 per side
 PS: 1x - 60watt (runs both sides)
 12.930 perim ft
 Watts: 44.6 watts total for both sides



CUSTOM WALL SIGN

RETAINER / CABINET STRUCTURE	
1	5" - .080" SIDEWALLS
2	1.5" - .100" ROUTED ALUM. FLANGE
3	WELDED CONSTRUCTION
4	.100" ALUM. BACK / SUPPORTS-GUSSETS
5	WEEP HOLES
6	.100" - 1.5" X 1.5" RETAINER
CABINET /RETAINER PAINT COLORS	
MAP BLK, SIDEWALLS AND BACK (GLOSS)	

FACE	
7	.177" CLEAR POLY. / 1-1/4" D - 1/2" EMOSS.
8	SUBSURFACE PAINT
9	REGISTER MARK NOT EMOSSED
FACE PAINT COLORS	
GRIP FLEX BLACK	
GRIP FLEX TO MATCH PMS 186	
GRIP FLEX WHITE	

ELECTRICAL: 120v	
10	LED: G2G WHITE WOW
11	POWER SUPPLY: 1x 60W (ALLANSON)

INSTALLATION
MOUNT TO MONUMENT

SIGN CODE:	MWS13-CW
SCALE:	1" = 1'
DATE:	2.21.22

QUANTITY:	2	Pre-assembled onto monument sign
-----------	---	----------------------------------



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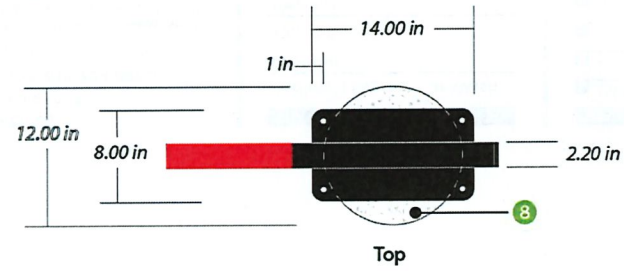
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

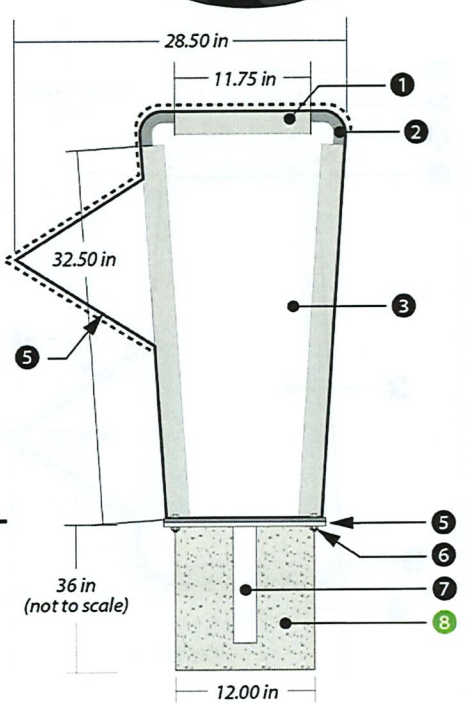
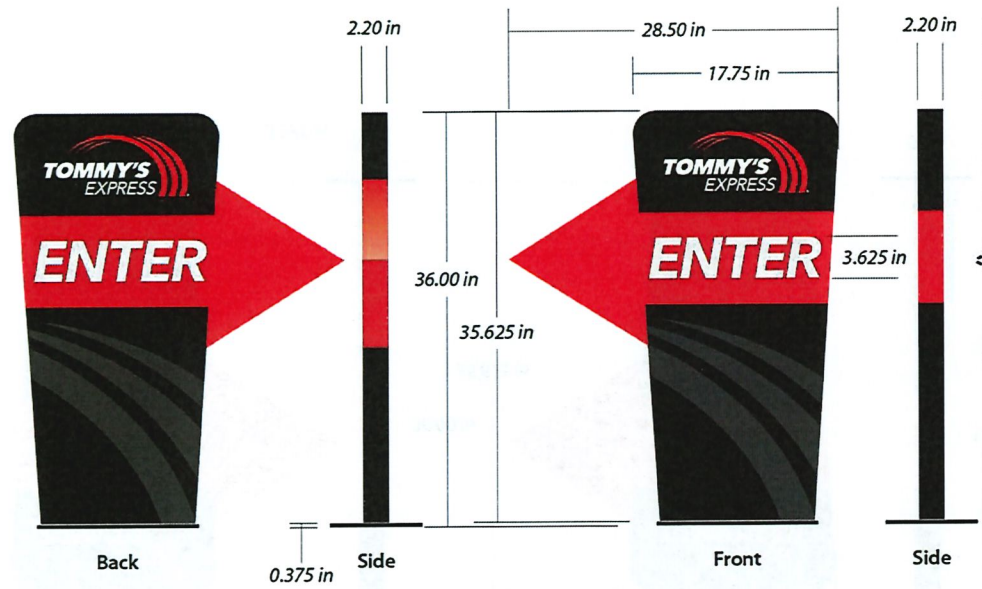
REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois

0.11 in (R) 0.20 in
Register mark actual size



- Perfect Match Red Scotchcal (#7725-263)
- White Scotchcal (#7725-10)
- Digital print on Opaque white w/ Gloss overlaminate (note: digitally printed Black outline)
- Paint MAP MP80141 Red (Gloss)
- Paint MAP Black (Gloss)
- Dark Gray Scotchcal (#7725-41)



DIRECTIONAL SIGN	
ITEM	CABINET STRUCTURE
1	2" X 2" X .125" ALUM. TUBE
2	.100" ROUTED ALUM. RIBS (4x - REQ.)
3	.100" ROUTED ALUM. FACES
4	.063" ROLLED ALUM. SIDEWALL SECTION
5	8" X 14" X .375" ALUM. MATCH PLATES 2x - REQUIRED 4x - .50"Ø HOLES
6	.375"Ø X 1.25" GALV STEEL NUTS/BOLTS
7	2" x 3" x .125" x 32" LONG ALUM. STUB WELD TO BOTTOM MATCH PLATE
PAINT COLORS	
	MAP BLACK (GLOSS)
	MAP MP80141 RED (GLOSS)
VINYL COLORS	
	DARK GRAY SCOTCHCAL (#7725-41)
	PERFECT MATCH RED SCOTCHCAL (#7725-263)
	WHITE SCOTCHCAL (#7725-10)
INSTALLATION	
8	12" DIA. x 36" D CONCRETE FOOTING
SIGN CODE:	DIR-EN-36P
SCALE:	3/4" = 1'
DATE:	11.30.21B
QUANTITY:	1



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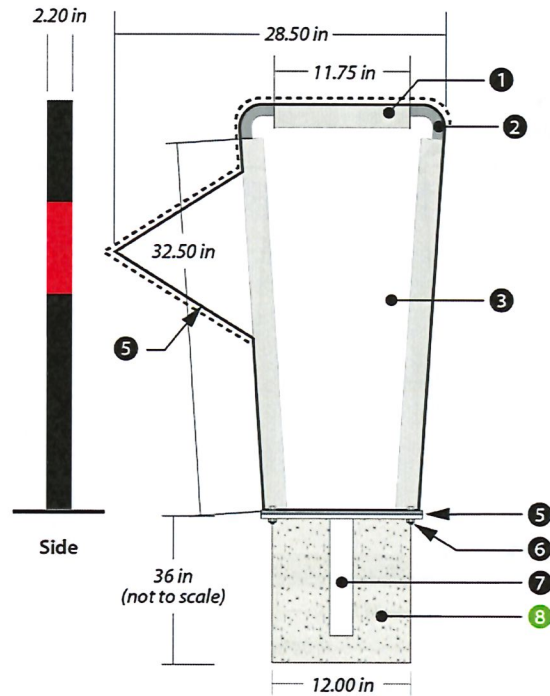
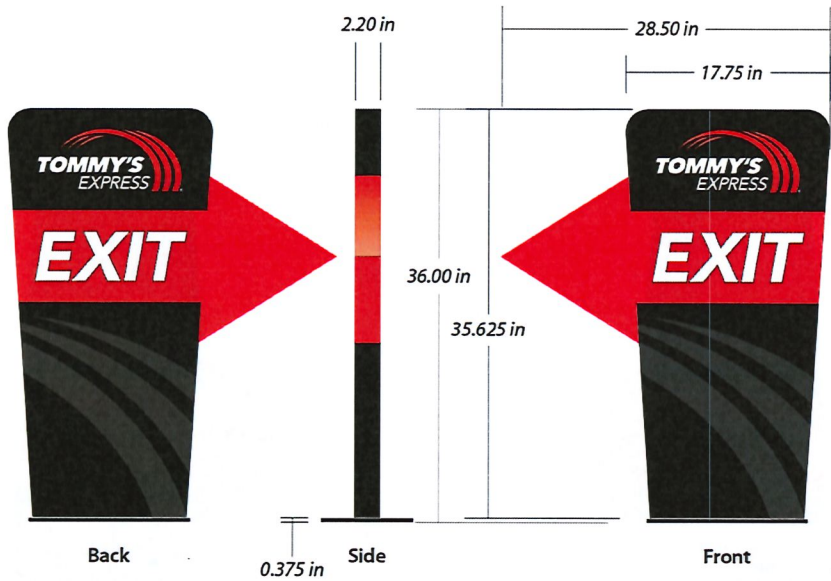
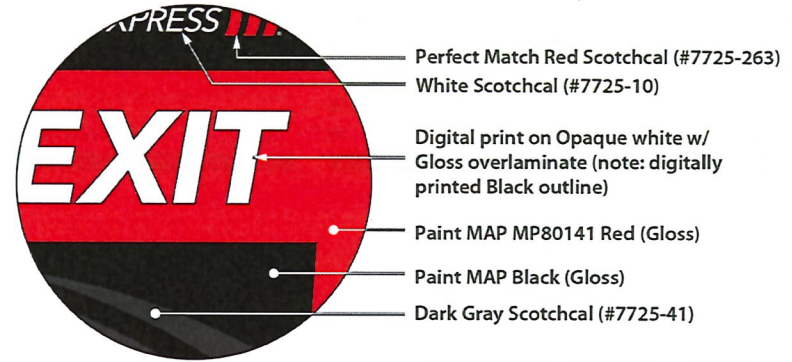
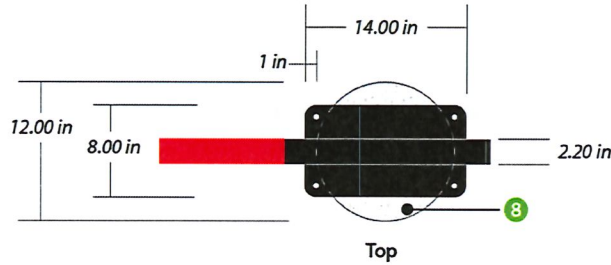
CUSTOMER INFO
Tommy's Express Car Wash
ACCOUNT
12440 Route 47
ADDRESS
February 18th, 2022
INITIAL PROPOSAL DATE

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois

0.11 in  0.20 in
Register mark actual size



DIRECTIONAL SIGN	
ITEM	CABINET STRUCTURE
1	2" X 2" X .125" ALUM. TUBE
2	.100" ROUTED ALUM. RIBS (4x - REQ.)
3	.100" ROUTED ALUM. FACES
4	.063" ROLLED ALUM. SIDEWALL SECTION
5	8" X 14" X .375" ALUM. MATCH PLATES 2x - REQUIRED
	4x - .50" Ø HOLES
6	.375" Ø X 1.25" GALV STEEL NUTS/BOLTS
7	2" x 3" x .125" x 32" LONG ALUM. STUB WELD TO BOTTOM MATCH PLATE
PAINT COLORS	
	MAP BLACK (GLOSS)
	MAP MP80141 RED (GLOSS)
VINYL COLORS	
	DARK GRAY SCOTCHCAL (#7725-41)
	PERFECT MATCH RED SCOTCHCAL (#7725-263)
	WHITE SCOTCHCAL (#7725-10)
INSTALLATION	
8	12" DIA. x 36" D CONCRETE FOOTING

SIGN CODE:	DIR-EX-36P
SCALE:	3/4" = 1'
DATE:	11.30.21B

QUANTITY:	1
-----------	---



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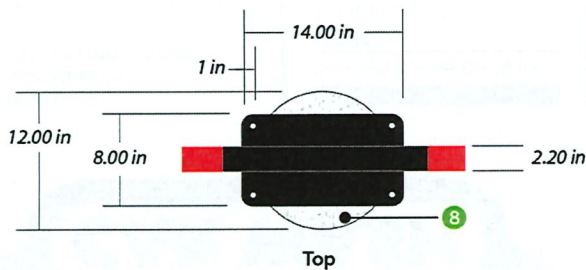
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

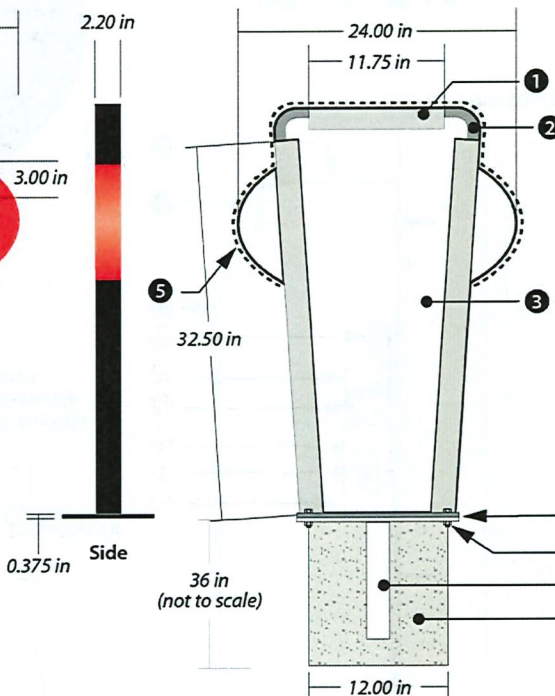
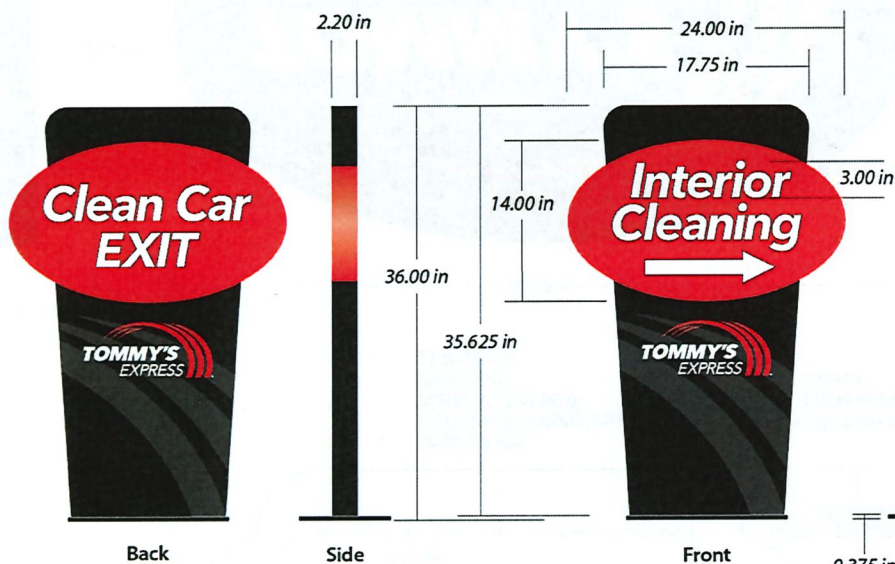
REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois

0.11 in  0.20 in
Register mark actual size



- Digital print on Opaque white w/ Gloss overlaminat (note: digitally printed Black outline)
- Paint MAP MP80141 Red (Gloss)
- Paint MAP Black (Gloss)
- White Scotchcal (#7725-10)
- Perfect Match Red Scotchcal (#7725-263)
- Dark Gray Scotchcal (#7725-41)



DIRECTIONAL SIGN	
ITEM	CABINET STRUCTURE
1	2" X 2" X .125" ALUM. TUBE
2	.100" ROUTED ALUM. RIBS (4x - REQ.)
3	.100" ROUTED ALUM. FACES
4	.063" ROLLED ALUM. SIDEWALL SECTION
5	8" X 14" X .375" ALUM. MATCH PLATES
	2x - REQUIRED
	4x - .50"Ø HOLES
6	.375"Ø X 1.25" GALV STEEL NUTS/BOLTS
7	2" x 3" x .125" x 32" LONG ALUM. STUB
	WELD TO BOTTOM MATCH PLATE
PAINT COLORS	
	MAP BLACK (GLOSS)
	MAP MP80141 RED (GLOSS)
VINYL COLORS	
	DARK GRAY SCOTCHCAL (#7725-41)
	PERFECT MATCH RED SCOTCHCAL (#7725-263)
	WHITE SCOTCHCAL (#7725-10)
INSTALLATION	
8	12"DIA. x 36"D CONCRETE FOOTING

SIGN CODE:	DIR-CCEIC-36P
SCALE:	3/4" = 1'
DATE:	11.30.21B
QUANTITY:	1



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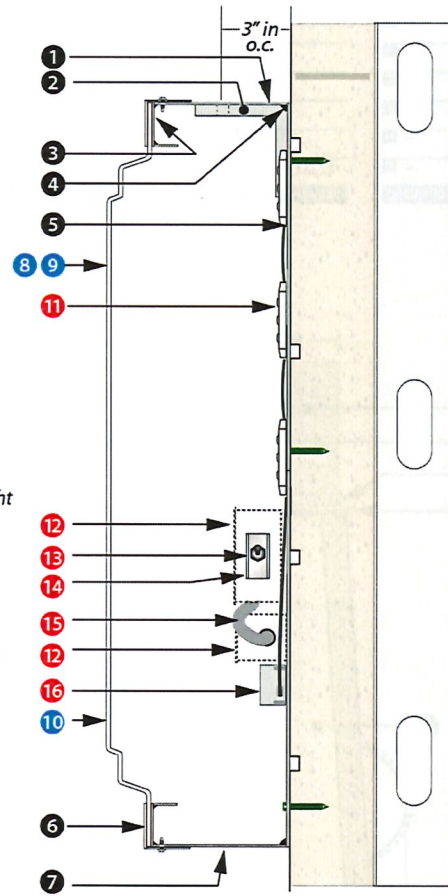
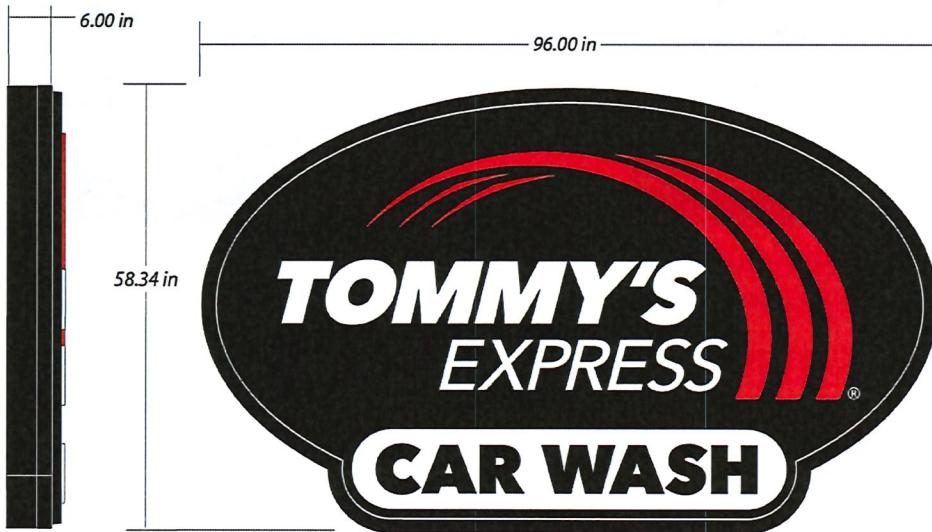
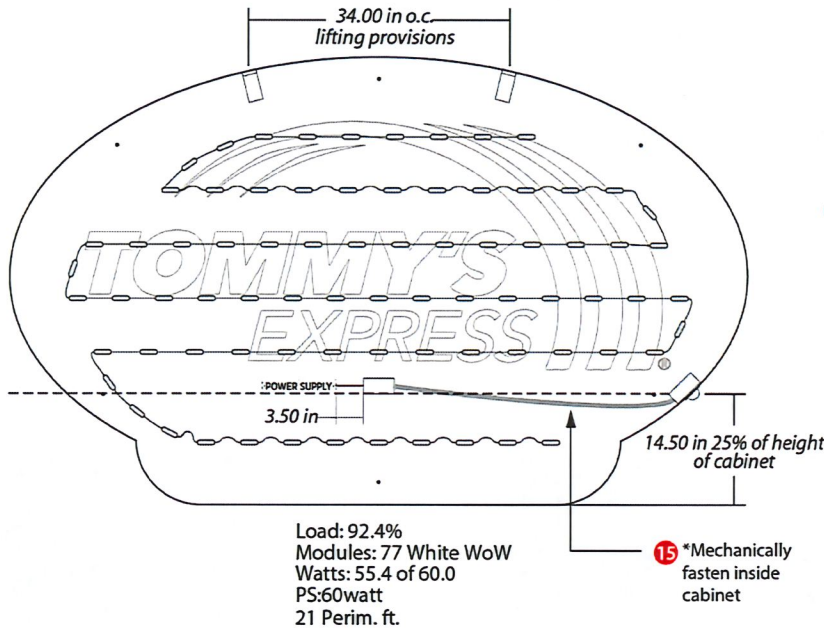
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Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
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I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois



- .50" emboss, back paint Grip Flex White
- .50" emboss, back paint Grip Flex to match PMS 186
- Not embossed, paint Grip Flex White
- 2.5" Flange, 57.84" x 95.5" trim, 54.34" x 92" v.o.
- .50" emboss (oval only), back paint Grip Flex White
- Back paint Grip Flex Black (Not Embossed)

CUSTOM WALL SIGN

ITEM	RETAINER / CABINET STRUCTURE
1	6" - .080" SIDEWALLS
2	4" x 4" x .50" x 1.875" ALUM. ANGLE
	.625"-11 TAP, WELD TO BACK, 34" O.C.
3	2" - .100" ROUTED ALUM. FLANGE
4	WELDED CONSTRUCTION
5	.100" ALUM. BACK / SUPPORTS-GUSSETS
6	.100" - 2" X 2" RETAINER
7	WEEP HOLES

CABINET / RETAINER PAINT COLORS	
	MAP BLACK (GLOSS)

ITEM	FACE
8	.177" CLEAR POLY. / 1-1/4" D - 1/2" EMOSS.
9	SUBSURFACE PAINT
10	REGISTER MARK NOT EMOSS

FACE PAINT COLORS	
	GRIP FLEX BLACK
	GRIP FLEX TO MATCH PMS 186
	GRIP FLEX WHITE

ITEM	ELECTRICAL: 120v
11	LED: G2G WHITE WOW
12	ELECT. BOX (PART #EL-BOX-4SSLEK) 2X REQ.
13	20A TOGGLE SWITCH (EL-SW-SW20)
14	LOCKING PLATE (EL-SW-LOCKING PLATE)
15	MC CABLE* (EL-COND-AL-.375FLX)
16	POWER SUPPLY: 1X 60W (ALLANSON) ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL

INSTALLATION

SIGN CODE:	WS39-CW
SCALE:	1/2" = 1'
DATE:	08.08.19H
QUANTITY:	2



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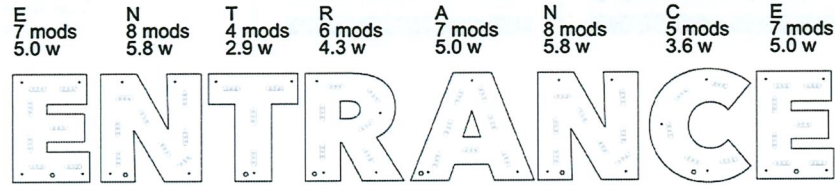
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CUSTOMER INFO	
Tommy's Express Car Wash	ACCOUNT
12440 Route 47	ADDRESS
February 18th, 2022	INITIAL PROPOSAL DATE

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
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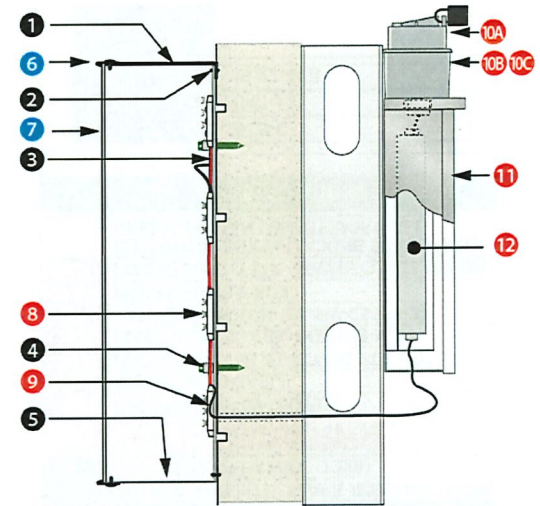
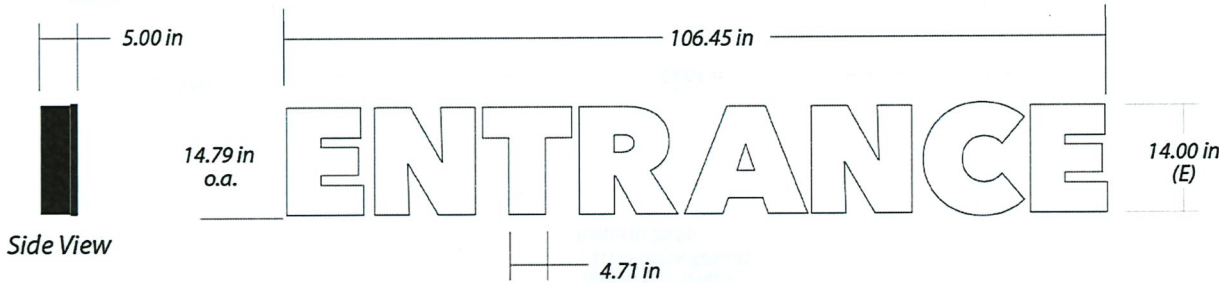
SITE#
P3073
 Huntley,
 Illinois



Load: 62.4%
 Modules: 52 White G2G WOW
 Watts: 37.4 of 60.0
 PS: 60watt
 Perim ft: 44.325

JEWELITE CHANNEL LETTERS	
CABINET STRUCTURE	
1	5" - .040" PREPAINTED BLACK SIDEWALLS
2	STAPLED CONSTRUCTION
3	3mm ACM PANEL
4	.25-20 INSERT W/FASTENER
5	WEEP HOLES
FACE / RETAINER	
6	1" BLACK JEWELITE / BLACK JEWELITE SCREW
7	.125" WHITE PLEX FACE (7328)
ELECTRICAL: 120V	
8	G2G WHITE WOW LED (52)
9	SLEEVED LED CABLE
10A	LOCKING COVER (EL-COVER-PTC100GY)
10B	ELECTRICAL BOX (EL-BOX-IH3-ILM)
10C	120V/20A SWITCH (EL-SW-CS120-2)
11	POWER SUPPLY BOX
12	POWER SUPPLY (1X - 60W REQ.) ALLANSON ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL
INSTALLATION	

SIGN CODE:	WL11-E
SCALE:	3/8" = 1'
DATE:	05.22.19B
QUANTITY:	1



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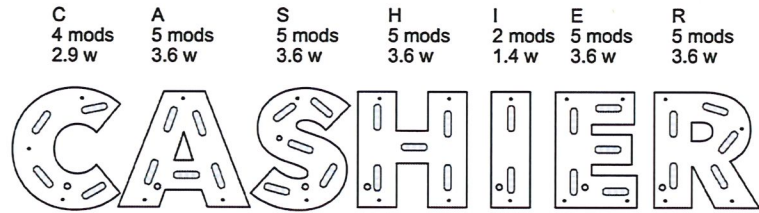
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CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

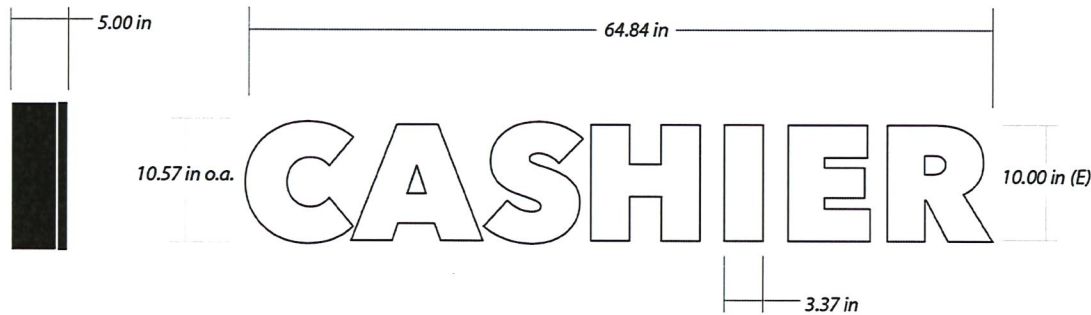
REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
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L --	

SITE#
P3073
 Huntley,
 Illinois

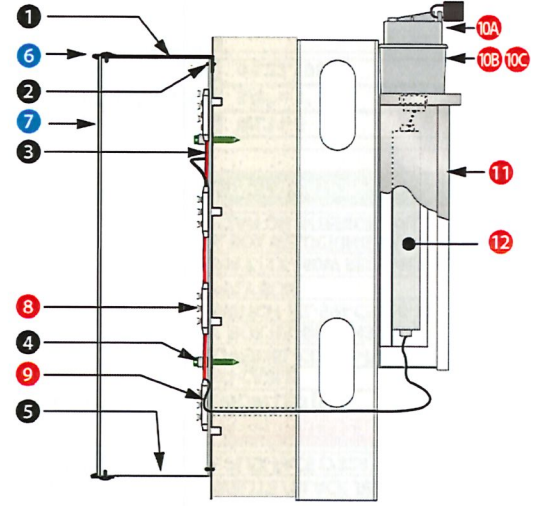


Load: 37.2%
 Modules: 31 White G2G WOW
 Watts: 22.3 of 60.0
 PS: Universal 60watt
 Perim ft: 26.56



JEWELITE CHANNEL LETTERS	
ITEM	CABINET STRUCTURE
1	5" - .040" PREPAINTED BLACK SIDEWALLS
2	STAPLED CONSTRUCTION
3	3mm ACM PANEL
4	.25-20 INSERT W/FASTENER
5	WEEP HOLES
ITEM	FACE / RETAINER
6	1" BLACK JEWELITE / BLACK JEWELITE SCREW
7	.125" WHITE PLEX FACE (7328)
ITEM	ELECTRICAL: 120V
8	G2G WHITE WOW LED (31)
9	SLEEVED LED CABLE
10A	LOCKING COVER (EL-COVER-PTC100GY)
10B	ELECTRICAL BOX (EL-BOX-IH3-ILM)
10C	120V/20A SWITCH (EL-SW-CS120-2)
11	POWER SUPPLY BOX
12	POWER SUPPLY (1X - 60W REQ.) ALLANSON
ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL	
INSTALLATION	

SIGN CODE:	WL5-C
SCALE:	3/4" = 1'
DATE:	05.22.19B
QUANTITY:	1



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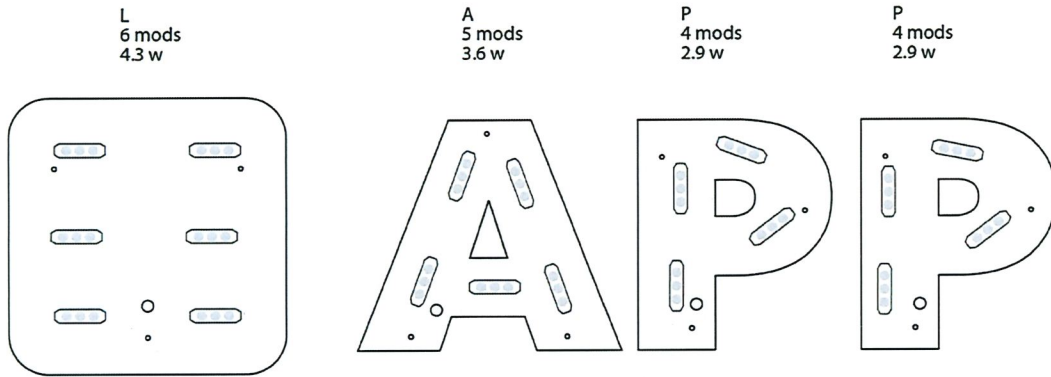
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Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
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February 18th, 2022	
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REVISIONS CONT.	INITIALS & DATE
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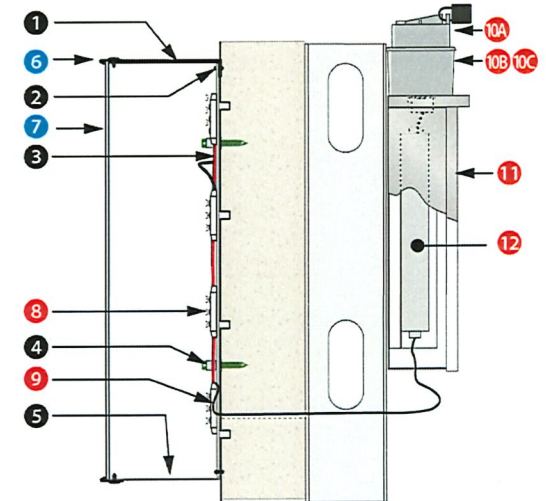
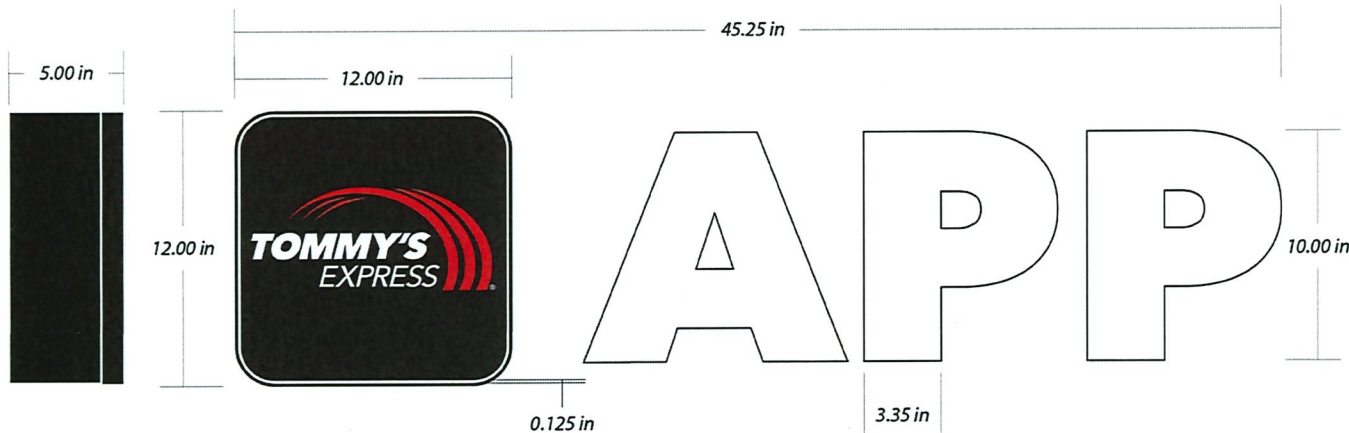
SITE#
P3073
 Huntley,
 Illinois



19 Modules: G2G WOW 7500K
 19 Total Modules
 13.7 Watts
 1 Power Supply: 60W
 2.334 sq ft
 14.18 perim ft

SIGN CODE:	WL4-APP
SCALE:	1-1/2" = 1'
DATE:	6.18.20D
QUANTITY:	1

JEWELITE CHANNEL LETTERS	
CABINET STRUCTURE	
ITEM 1	5" - .040" PREPAINTED BLACK SIDEWALLS
ITEM 2	STAPLED CONSTRUCTION
ITEM 3	3mm ACM PANEL
ITEM 4	.25-20 INSERT W/FASTENER
ITEM 5	WEEP HOLES
FACE / RETAINER	
ITEM 6	1" BLACK JEWELITE / BLACK JEWELITE SCREW
ITEM 7	.125" WHITE PLEX FACE (7328)
VINYL COLORS	
MATTE BLACK SCOTCHCAL (#7725-22)	
DARK RED SCOTCHCAL (#3630-73)	
ELECTRICAL: 120V	
ITEM 8	G2G WHITE WOW LED (19)
ITEM 9	SLEEVED LED CABLE
ITEM 10A	LOCKING COVER (EL-COVER-PTC100GY)
ITEM 10B	ELECTRICAL BOX (EL-BOX-IH3-ILM)
ITEM 10C	120V/20A SWITCH (EL-SW-CS120-2)
ITEM 11	POWER SUPPLY BOX
ITEM 12	POWER SUPPLY (1X - 60W REQ.) ALLANSON ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL
INSTALLATION	



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 Comstock Park, MI 49321
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CUSTOMER INFO
Tommy's Express Car Wash
ACCOUNT
12440 Route 47
ADDRESS
February 18th, 2022
INITIAL PROPOSAL DATE

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois



View of south [side] elevation as would be viewed from northbound Route 47



View of west [front] elevation as would be viewed from Route 47



View of north [side] elevation as would be viewed from Regency Parkway



View of east [rear] elevation as would be viewed from private drive entrance